

COMMERCIAL OFFICE DEVELOPMENT TECHCON CONSTRUCTION, INC.

480 COCHRANE CIRCLE, MORGAN HILL

299 BASSETT ST., SUITE 250
SAN JOSE, CA 95110
1-408-263-0100



VICINITY MAP



- PLANNING DEPARTMENT (NOT FOR CONSTRUCTION)
- HEALTH DEPARTMENT (NOT FOR CONSTRUCTION)
- PRICING PLANS (NOT FOR CONSTRUCTION)
- BUILDING SUBMITTAL

PROJECT DIRECTORY

OWNER:
MONUMENT LAND COMPANY LLC
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CONTRACTOR:
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SCOPE OF WORK

THIS PROJECT INCLUDES CONSTRUCTION OF A NEW BUILDINGS ON TWO ADJACENT EMPTY SITES, WITH ASSOCIATED PARKING AND LANDSCAPE SITE DEVELOPMENT.

Techcon LID - BMP Sizing Calcs							
Proposed BMP No.	BMP Impervious Area Public Hardscape (S.F.)	Private Hardscape (S.F.)	95th Percentile (1.7" Rain) First Flush Volume to Treat (Cu. Ft.)	Proposed BMP Volume (Cu. Ft.)	Native Soil Infiltration Rate (In/Hr.)	BMP Loading Depth (Inches)	BMP Infiltration Duration (Hrs.) ≤ 48
1	0	126,932	17,982	19,780	0.5	11.6	23.2

NOTE:
THE PROPERTY LINES CANNOT BE RELOCATED UNTIL THE STREET INTERSECTION WORK IS COMPLETED. SHOULD ALL OTHER DEPARTMENTS AGREE TO APPROVE THE BUILDING PERMIT APPLICATION WITH THE CURRENT PROPERTY LINES, THE APPLICANT ACKNOWLEDGES THAT THEY UNDERSTAND THE BUILDING PERMIT CANNOT BE FINALIZED UNTIL THE PROPOSED PROPERTY LINES ARE LEGALLY RECORDED THIS WOULD ALSO PROHIBIT OCCUPANCY OF THIS BUILDING UNDER FUTURE TENANT IMPROVEMENT PERMITS.

PROJECT INFORMATION

A.P.N. 726-34-16 AND 726-34-17
ZONING IL - LIGHT INDUSTRIAL, GATEWAY
CONSTRUCTION TYPE III-B
OCCUPANCY F-1, B, A-2, S-1 NON-SEPARATED
NUMBER OF STORIES 2
FIRE SPRINKLERS YES
SITE AREA PARCEL 726-34-16: 1.08 ACRES
PARCEL 726-34-17: 2.26 ACRES
TOTAL PROJECT AREA: 3.34 ACRES
BUILDING AREA 44,800 SF
PROJECT AREA 3.34 ACRES
APPLICABLE CODES 2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALGREEN CODE
* ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS AND REGULATIONS.

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C4 SITE GRADING & DRAINAGE PLAN
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DEFERRED SUBMITTALS

DEFERRED SUBMITTALS (drawings and/or calculations) ARE DEFINED AS THOSE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE APPLICATION & THAT ARE TO BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A SPECIFIED PERIOD. DEFERRED OF ANY SUBMITTALS SHALL BE REVIEWED & APPROVED BY THE ARCHITECT AND/OR ENGINEER OF RECORD PRIOR TO SUBMITTING TO THE CITY FOR REVIEW & APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED & APPROVED BY THE CITY PRIOR TO FABRICATIONS & INSTALLATIONS OF THESE ITEMS.

THE GENERAL CONTRACTOR SHALL COORDINATE AND SUBMIT THE DEFERRED SUBMITTALS FOR REVIEW BY THE BUILDING OFFICIAL.

THE FOLLOWING ITEMS REQUIRE DEFERRED REVIEW AND PERMIT BY LOCAL AUTHORIZING JURISDICTIONS:

- FIRE SPRINKLER & FIRE ALARM
- GUARDRAILS
- STOREFRONT/CURTAIN WALL SYSTEMS
- STEEL STAIRS
- ELEVATOR
- EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM
- UNDERGROUND FIRE SERVICE (UNDER SEPARATE PERMIT)
- SOLAR PANELS

SUBMITTALS WILL INCLUDE STRUCTURAL CALCULATIONS WHERE REQUIRED BY THE LOCAL AUTHORIZING JURISDICTIONS.
CONTRACTOR TO REVIEW EXISTING FIRE SPRINKLER SYSTEM IN ALL BUILDINGS, FIRE SPRINKLER SYSTEM MUST COMPLY WITH 2019 CBC SECTION 903.3.1.1

EXTERIOR NON-STRUCTURAL WALL PANELS OR ELEMENTS THAT ARE ATTACHED TO OR ENCLOSED THE STRUCTURE SHALL BE DESIGNED TO RESIST THE APPLICABLE WIND AND/OR SEISMIC FORCE PER ASCE 7-10 AND SHALL BE DESIGNED TO ACCOMMODATE THE SEISMIC RELATIVE DISPLACEMENTS DEFINED IN ASCE 7-10 SECTION 13.3.2 AND MOVEMENTS DUE TO TEMPERATURE CHANGES. SUCH ELEMENTS SHALL BE SUPPORTED BY MEANS OF POSITIVE AND DIRECT STRUCTURAL SUPPORT OR BY MECHANICAL CONNECTIONS AND FASTENERS IN ACCORDANCE WITH REQUIREMENT SPECIFIED IN ASCE 7-10 SECTION 13.5.3.

GLASS IN GLAZED CURTAIN WALLS & STOREFRONTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ASCE 7-10 SECTION 13.5.9.

TRANSVERSE OF OUT-OF-PLANE BENDING OR DEFORMATION OF A COMPONENT OR SYSTEM THAT IS SUBJECTED TO FORCE AS DETERMINED IN ASCE 7-10 SECTION 13.5.2 SHALL NOT EXCEED THE DEFLECTION CAPABILITY OF THE COMPONENT OR SYSTEM

BUILDING CODE ANALYSIS

LOT 726-34-16
CONSTRUCTION TYPE: V-B, FULLY SPRINKLERED
OCCUPANCY: B
ALLOWABLE STORIES: 3
ALLOWABLE HEIGHT: 60' (UNDER BUILDING CODE)
ALLOWABLE AREA: 36,000 SF

SOURCE (2019 CALIFORNIA BUILDING CODE)
TABLE 504.4
TABLE 504.3
TABLE 506.2

NO CONSTRUCTION UNDER THIS PERMIT

LOT 726-34-17
CONSTRUCTION TYPE: III-B, FULLY SPRINKLERED
OCCUPANCY: A-2, B, F-1, S-1, NON-SEPARATED
HEIGHT, STORIES & AREA: USE A-2 (MOST RESTRICTIVE)
ALLOWABLE STORIES: A-2: 3 WITHOUT AREA INCREASE
PROPOSED STORIES: 2 - COMPLIES
ALLOWABLE HEIGHT: 75' (UNDER BUILDING CODE)
PROPOSED HEIGHT: 49' - COMPLIES

SOURCE (2019 CALIFORNIA BUILDING CODE)
TABLE 508.4
SECTIONS 504, 508.1, 508.3
TABLE 504.4
SECTION 506.2.4: MULTIPLE USE, MULTIPLE STORY BUILDINGS, SECTIONS 508.1, 508.3
EQUATION 5-3

506.2.4 MIXED OCCUPANCY-MULTISTORY
 $A_n = [A + (N5 \times I)]$
 $A_n = [28,500 + (9,500 \times 0.725)]$
 $A_n = 35,387$ SF PER STORY

$I = [F/P - 0.25]W/30$
 $I = [1 - 0.25]29/30$
 $I = 0.725$
ALL OF BUILDING PEREMETER FRONTS MIN 20' OPEN SPACE
NOT USING AREA INCREASE FACTOR

1ST FLOOR
PER TABLE 506.2
A-2: SM(WITHOUT AREA INCREASE) = 28,500 SF ALLOWED
PROPOSED 1ST FLOOR AREA = 28,100 SF - COMPLIES

2ND FLOOR
PER TABLE 506.2
A-2: SM(WITHOUT AREA INCREASE) = 28,500 SF ALLOWED
PROPOSED 2ND FLOOR AREA = 16,700 SF - COMPLIES

BUILDING HEIGHT, NUMBER OF STORIES, & AREA COMPLY

PLANNING CODE ANALYSIS

LOT 726-34-16
SITE AREA: 1.08 ACRES - COMPLIES
ZONING: IL - LIGHT INDUSTRIAL, GATEWAY
FAR: 0.6 ALLOWED

SOURCE
PARCEL MAP
MORGAN HILL ZONING MAP;
GATEWAY GUIDELINES
ZONING ORDINANCE, 18.12.050

BUILDING HEIGHT: 50' ALLOWED (PLANNING CODE)
SETBACKS: REQUIRED
FRONT: 30'
REAR: 20'
INTERIOR SIDE: 10'
GATEWAY: 30'

ZONING ORDINANCE & GATEWAY GUIDELINES

NO BUILDING CONSTRUCTION UNDER THIS PERMIT

LOT 726-34-17
SITE AREA: 2.26 ACRES - COMPLIES
ZONING: IL - LIGHT INDUSTRIAL, GATEWAY
FAR: 0.6 ALLOWED
 $(28,100 + 3,880 + 16,700 + 1,700) / 108,827 = 0.46$ - COMPLIES

SOURCE
PARCEL MAP
MORGAN HILL ZONING MAP;
GATEWAY GUIDELINES
ZONING ORDINANCE, 18.12.050

BUILDING HEIGHT: 50' ALLOWED (PLANNING CODE)
PROPOSED: 48' - 8" - COMPLIES
SETBACKS: REQUIRED ACTUAL
FRONT: 30' 52'
REAR: 20' 52'
INTERIOR SIDE: 10' 29' MIN.
GATEWAY: 30' LANDSCAPE AT MONTEREY

GATEWAY GUIDELINES

PROPOSED USES:
OFFICE - PERMITTED
RESEARCH AND DEVELOPMENT - PERMITTED
MANUFACTURING - LIGHT - PERMITTED

NOTE: PLANNING ANALYSIS IS BASED ON THE PROPOSED ADJUSTMENT TO THE INTERSECTION AT MONTEREY AND COCHRANE, PER THE CITY ENGINEER.

PROJECT ADDRESS

480 COCHRANE CIRCLE
MORGAN HILL, CA

COMMERCIAL OFFICE BUILDING for
TECHCON CONSTRUCTION, INC.



kelly s. simcox, architect

STAMP

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REVISIONS

NO.	DATE	DESCRIPTION
	8/14/2019	PLANNING SUBMITTAL
	4/24/2020	BUILDING SUBMITTAL
1	6/5/2020	RESUBMITTAL

DATE 8/1/2019
SCALE 1/4" = 1'-0"
PROJECT ID 2019.95
DRAWN BY TB, CW

COVER SHEET

SHEET TITLE

SHEET NO.

A0.0

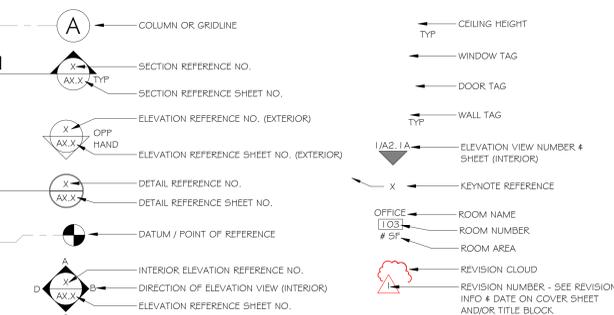
GENERAL NOTES

- THESE GENERAL NOTES SHALL APPLY TO ALL WORK AND ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
- BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT THE PREMISES PRIOR TO SUBMITTING THEIR PROPOSALS, AND TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM FOR LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF. APPOINTMENTS SHALL BE ARRANGED THROUGH THE OWNER'S REPRESENTATIVE.
- BIDDERS SHALL MAKE KNOWN TO THE ARCHITECT ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING BIDDING PHASE OF THE PROJECT. UNLESS SPECIFICALLY NOTED BY THE ARCHITECT, NO CHANGES OR MODIFICATIONS TO THE PROJECT OR SUBSEQUENT EXTRAS OF ADDITIONS WILL BE ALLOWED FOR LIMITATION, EXCLUSIONS OR MODIFICATIONS NOT NOTED BY BIDDER.
- THE GENERAL CONTRACTOR SHALL PAY ALL FEES AND SECURE ALL REQUIRED PERMITS FOR THE WORK INDICATED ON THE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE PREMISES ON WHICH THE WORK IS PERFORMED, AS WELL AS FOR SAFETY OF ALL PERSONS AND PROPERTY ON THE SITE DURING PERFORMANCE OF HISHER CONTRACT. THESE REQUIREMENTS SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, BUT SHALL APPLY CONTINUOUSLY ALL HOURS OF THE DAY (24 HOURS) AND ALL CALENDAR DAYS OF THE WEEK (7 DAYS).
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT AND OWNER SHALL DETERMINE THE EQUALITY BASED UPON THE INFORMATION SUBMITTED BY THE CONTRACTOR. INFORMATION MUST BE PROVIDED FROM A MANUFACTURER AND MUST INCLUDE A SIDE-BY-SIDE COMPARISON OF EACH PRODUCT IDENTIFYING THE CRITICAL COMPONENTS FOR COMPARISON (STRUCTURAL, SYSTEM COMPONENTS AND DETAILS, FINISHES/SAFETY, COLOR OPTIONS, MATERIALS, LEED, WARRANTY, ETC.).
- THE GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS, AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING PRIOR TO THE COMMENCEMENT OF THE WORK. THE/SHE SHALL EXAMINE ALL ADJOINING WORK AND/OR AREAS UPON WHICH THE PERFORMANCE OF THEIR WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED WITH ALL DUE EXPEDENCY TO THE ARCHITECT AND OWNER PRIOR TO THE FABRICATION OR ERECTION OF THE WORK IN QUESTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION. AFTER EXECUTION OF THE CONSTRUCTION CONTRACT, THE AWARDED GENERAL CONTRACTOR WILL RECEIVE ONE COMPLETE SET OF DOCUMENTS AS ISSUED FOR CONSTRUCTION.
- ANY INFORMATION REQUIRED BY THE CONTRACTORS THAT IS NOT SHOWN ON THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS SHALL BE REQUESTED BY THE GENERAL CONTRACTOR FROM THE ARCHITECT PRIOR TO BID OR PRIOR TO COMMENCEMENT OF WORK.
- NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE REVIEW SHALL COMMENCE PRIOR TO SUBMITTAL BY CONTRACTOR AND REVIEW AND APPROVAL BY OWNER AND ARCHITECT.
- SHOULD THE GENERAL CONTRACTOR BY THEIR OWN FAULT FAIL TO ADHERE TO THE CONSTRUCTION SCHEDULE, THE/SHE SHALL AT THE DISCRETION OF THE OWNER PERFORM WORK ON PREMIUM TIME TO CONFORM WITH THE SCHEDULE. ANY EXPENSES ATTRIBUTED TO SUCH WORK SHALL BE BORNE BY THE GENERAL CONTRACTOR. IN ADDITION, AT THE TIME OF FAILURE TO CONFORM TO THE CONSTRUCTION SCHEDULE, THE GENERAL CONTRACTOR SHALL SUBMIT A RECOVERY SCHEDULE FOR REVIEW AND APPROVAL BY THE OWNER, INDICATING MILESTONES AND COMPLETION DATES.
- THE GENERAL CONTRACTOR SHALL SUPPLY A LIST OF ALL SUBCONTRACTORS TO THE ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF WORK. INFORMATION SHALL INCLUDE THE NAME OF THE PRINCIPLE CONTACT, THE COMPLETE ADDRESS (PHYSICAL BUSINESS AND MAILING), THE TELEPHONE NUMBER, AND THE EMAIL ADDRESS FOR EACH SUBCONTRACTOR RESPONSIBLE FOR ANY PORTION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE CITY, INCLUDING THE HOURS OF AVAILABILITY, MANNER OF HANDLING MATERIALS, DELIVERIES, EQUIPMENT, AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL OPERATIONS.
- ALL DIMENSIONS SHOWN ARE TAKEN TO FACE OF FINISH U.O.N.
- WEEKLY REPORT FORM, SIGNED BY THE GENERAL CONTRACTOR OR SUPERINTENDENT SHALL BE COMPLETED AND DELIVERED TO THE ARCHITECT AND OWNER. THIS REPORT SHALL INDICATED WORK IN PROGRESS AND ITEMS TO BE RESOLVED, AS WELL AS CRITICAL MILESTONES.
- THE GENERAL CONTRACTOR SHALL BE ANSWERABLE TO THE OWNER'S REPRESENTATIVE FOR HISHER WORK AND SHALL NOT ACCEPT INSTRUCTION FROM OTHER PERSONNEL WITHOUT VERIFICATION FROM THE OWNER. CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSE CAUSED BY EXECUTION OF WORK WITHOUT SUCH VERIFICATION AND FOR THE EXPENSE CAUSED BY REMOVAL AND CORRECTION OF SUCH WORK.
- A REPRESENTATIVE OF THE GENERAL CONTRACTOR AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE ARCHITECT SHALL BE AVAILABLE AT ALL TIMES WHILE THE WORK IS IN PROGRESS.
- GREAT CARE SHALL BE EXERCISED TO ASSURE THAT THE BUILDING SHALL BE PROTECTED FROM DAMAGE THAT COULD OCCUR BECAUSE OF THIS WORK AND THE CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING AREAS AND NEW WORK AREAS. ANY DAMAGE DUE TO WORK OR ACCIDENTS, SHALL BE REPAIRED, REPLACED, OR PATCHED AT THE DISCRETION OF THE OWNER. THE CONTRACTOR SHALL BEAR ALL FINANCIAL RESPONSIBILITY FOR DAMAGE AND SUBSEQUENT REPAIRS DUE TO FAILURE OF PROTECTING EXISTING AREAS AND NEW WORK AND/OR ACCIDENTS.
- THE CONTRACTOR SHALL PROTECT ALL MATERIALS THAT EXIST ON THE JOB SITE FROM DAMAGE AND SHALL MAINTAIN PROTECTION DURING THE EXECUTION OF THE WORK. THIS PROTECTION EXTENDS OUTSIDE OF THE BUILDING TO ALL LOCATIONS ON THE SITE INCLUDING ANY AREAS USED FOR ROUTING MATERIALS TO AREAS OF WORK. THE CONTRACTOR IS RESPONSIBLE TO RECTIFY ANY DAMAGE ATTRIBUTABLE TO HISHER OPERATIONS FOR THE DURATION OF WORK AND CONTRACT TIME.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL WOODWORK, DOORS & FRAMES, WINDOWS, AND ALL WORK AS MAY BE SPECIFICALLY REQUESTED IN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL. SHOP DRAWINGS SHALL SHOW ALL DIMENSIONS AND CONDITIONS, INCLUDING VERIFICATIONS FROM IN-FIELD AS NECESSARY. WHEN THE ARCHITECT REQUESTS A REVISION AND RESUBMITTALS, SUCH RESUBMITTALS SHALL OCCUR WITHIN ONE (1) WEEK OF NOTIFICATION OF SUCH REQUIREMENT AND SHALL NOT BE SUBJECT TO ADDITIONAL COST TO THE OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND COORDINATE WITH THE OWNER AND ARCHITECT THE INTERFACING OF ANY OWNER WORK WITH THAT INDICATED IN THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL WORK AS SHOWN/INDICATED IN DRAWINGS, SPECIFICATIONS, AND DOCUMENTS, WITH THE EXCEPTION OF THOSE ITEMS AS NOTED AS "I.C." OR AS NOTED TO BE SEPARATE CONTRACTS. THE/SHE SHALL BE RESPONSIBLE FOR COORDINATING THE WORK WITH THAT OF ALL OTHER TRADES, INCLUDING COORDINATION WITH THOSE TRADES OPERATING UNDER SEPARATE CONTRACTS WITH THE OWNER.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN AND IN ACCORDANCE WITH THE HIGHEST STANDARD OF QUALITY AND BEST PRACTICES OF THE TRADES INVOLVED. CARE SHALL BE TAKEN TO ENSURE COMPLIANCE WITH BUILDING REGULATIONS/CODES, AND/OR GOVERNMENTAL LAWS, STATUTES OF ORDINANCES CONCERNING THE USE OF LABOR, AND CONDUCTED IN THE MANNER OF INDUSTRY STANDARD PRACTICE.
- ALL MATERIALS TO BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.

ABBREVIATIONS

A.B.	ANCHOR BOLT	DR.	DOOR	HR.	HOUR	OFF.	OPPOSITE	SK.	SINK or SKETCH
A.C.	ASPHALT CONCRETE	D.S.	DOWNSPOUT	H.R.C.	HOSE REEL CABINET	S.K.	SHEET METAL	S.M.	SHEET METAL
A.C.	AIR CONDITIONING	DWGS.	DRAWINGS	H.S.B.	HIGH STRENGTH BOLT	P.B.	PANIC BAR	S.M.D.	SEE MECHANICAL DRAWINGS
A.F.F.	ABOVE FINISH FLOOR	E.A.	EACH	HT.	HEIGHT	P.D.F.	POWDER DRIVEN FASTENER	S.M.S.	SHEET METAL SCREW
A.G.	AGGREGATE TILE	E.J.	EXPANSION JOINT	H.T.D.	HOT WATER TOWEL DISPENSER	P.H.	PHILIPS HEAD	S.N.D.	SANITARY NAPKIN DISPOSAL
ADJ.	ADJUSTABLE	E.J.	EXPANSION JOINT	H.T.G.	HEATING	P or PL	PLATE	S.N.V.	SANITARY NAPKIN VENDOR
A.F.S.	AUTOMATIC FIRE SPRINKLER	ELECT.	ELECTRICAL	H.W.	HOT WATER	PL	PROPERTY LINE	S.O.V.	SHUT OFF VALVE
ALUM.	ALUMINUM	ELEV.	ELEVATION	H.W.D.	HOT WATER DISPENSER	PLAS.	PLASTER	S.P.D.	SEE PLUMBING DRAWINGS
ANGLE	ANGLE	ENCL.	ENCLOSURE	I.D.	INSIDE DIAMETER	PLAM.	PLASTER LAMINATE	SPEC.	SPECIFICATIONS
ANOD.	ANODIZED	E.N.C.	ENCLOSURE	IND.	INSIDE DIAMETER	PLYWD.	PLYWOOD	S.Q.	SQUARE
APPROX.	APPROXIMATELY	E.P.B.	ELECTRIC PANEL BOARD	INV.	INVERT	PNL	PANEL	S.S.	SERVICE SINK or STAINLESS STEEL
ARCH.	ARCHITECTURAL	EQ.	EQUIPMENT	INSUL.	INSULATION	POL.	POLISHED	S.S.D.	SEE STRUCTURAL DRAWINGS
ASPH.	ASPHALT	EQUIP.	EQUIPMENT	INT.	INTERIOR	PORC.	PORCELAIN	S.S.T.	STAINLESS STEEL
@	AT	E.W.C.	ELECTRIC WATER COOLER	JAN.	JANITOR	POL.	POLISHED	STD.	STANDARD
		E.W.H.	ELECTRIC WATER HEATER	JNT.	JUNCTION BOX	PR.	PAIR	STL.	STEEL
BD.	BOARD	EXH.	EXHAUST	J.B.	JUNCTION BOX	STN.	STAIN	STOR.	STORAGE
BLDG.	BUILDING	EXT.	EXTERIOR	JT.	JOINT	PT.	POINT	STRUC.	STRUCTURAL
BLKG.	BLOCKING	EXT.	EXTERIOR	KIT.	KITCHEN	P.T.D.	PAPER TOWEL DISPENSER	SUSP.	SUSPENDED
BM.	BEAM	F.A.	FIRE ALARM	KIT.	KITCHEN	P.V.C.	POLY-VINYL CHLORIDE		
B.O.J.	BOTTOM OF JOISTS	F.B.	FLAT BAR	K.P.	KICK PLATE			T & B	TOP AND BOTTOM
B.U.	BUILT-UP	FBRGL.	FIBERGLASS	L.A.M.	LAMINATE	QT.	QUARRY TILE	T.B.	TOWEL BAR
CAB.	CABINET	F.D.	FLOOR DRAIN	LAV.	LAVATORY	R.	RISERS	TEL.	TELEPHONE
CAD. PL.	CADMIUM PLATED	F.N.	FOUNDATION	LCKR.	LOCKER	R.A.	RETURN AIR	T & G	TONGUE AND GROOVE
C.B.	CATCH BASIN (SITE)	F.E.C.	FIRE EXTINGUISHER CABINET	L.P.	LOW POINT	RAD.	RADIUS	T.O.	TOP OF
C.B.	CHALKBOARD	F.H.	FIRE HYDRANT OR FLAT HEAD	L.S.D.	LIQUID SOAP DISPENSER	R.C.P.	REINFORCED CONCRETE PIPE	T.O.S.	TOP OF SLAB
C.B.D.	CUP DISPENSER	F.H.C.	FIRE HOSE CABINET	L.T.	LIGHT	R.F.D.	REINFORCED	T.O.W.	TOP OF WALL
CEM.	CEMENT	FIN.	FINISH	L.U.	LIGHT	RD.	ROUND	T.F.D.	TOILET PAPER DISPENSER
CER.	CERAMIC	FLR.	FLOOR	R.D.	ROOF DRAIN	TRD.	TREAD	TYP.	TYPICAL
C.G.	CORNER GUARD	FR.	FLOOR	REC.	RECESSED	REF.	REFERENCE		
		F.O.	FISHED OPENING or FACE OF	REIN.	REINFORCED	REF.	REFERENCE		
		F.O.C.	FACE OF CONCRETE	REQ.	REQUIRED	UNF.	UNFINISHED		
C.I.	CAST IRON	F.O.F.	FACE OF FINISH	RESIL.	RESILIENT	U.O.N.	UNLESS OTHERWISE NOTED		
C.J.	CONSTRUCTION JOINT	F.O.M.	FACE OF MASONRY	RESIL.	RESILIENT	UR.	UNLESS OTHERWISE NOTED		
C or C.L.	CENTER LINE	F.O.S.	FACE OF STUD	R.H.	ROUND HEAD or ROBE HOOK				
CLR.	CLEAR	F.S.	FLOOR SINK	M.H.	MANHOLE	RM.	ROOM		
CLG.	CEILING	FTG.	FOOTING	MIN.	MINIMUM	ROU.	ROUGH		
C.M.U.	CONCRETE MASONRY UNIT	F.R.P.	FIBERGLASS REINFORCED PLASTIC	MISC.	MISCELLANEOUS	R.O.	ROUGH OPENING		
CLEANOUT	CLEANOUT			M.O.	MASONRY OPENING	R.W.	RIGHT OF WAY		
COL.	COLUMN	GA.	GAUGE	M.S.	MACHINE SCREW	RWD.	REDWOOD		
COMP.	COMPOSITION	GALV.	GALVANIZED	MTD.	MOUNTED	R.W.L.	RAIN WATER LEADER		
CONC.	CONCRETE	G.I.	GALVANIZED IRON	MUL.	MULLION	S.C.	SOLID CORE		
CONN.	CONNECTION	GL.	GLASS			S.C.D.	SOLID CORE		
CONTINUOUS	CONTINUOUS	GRD.	GROUND or GRADE					W	WITH
CONTR.	CONTRACTOR	G.S.F.	GROSS SQUARE FEET	N.I.C.	NOT IN CONTRACT			W.C.	WATER CLOSET
C.O.T.G.	CLEAN OUT TO GRADE	G.V.	GATE VALVE	N.D.	NUMBER	S.D.	SEE CIVIL DRAWINGS	W.C.	WATER CLOSET
CTSK.	COUNTERSINK	G.V.C.B.	GATE VALVE IN CONCRETE BOX	N.S.F.	NET SQUARE FEET			W.D.	WATER HEATER
C.W.	COLD WATER	GYP.	GYP-SUM	N.T.S.	NOT TO SCALE			W.H.	WATER HEATER
				O.C.	ON CENTER			WNSCT.	WAINSCOT
DET.	DETAIL	HDR.	HEADER	O.C.	ON CENTER			W.P.	WATERPROOF or WORK POINT
D.F.	DOUGLAS FIR	HWD.	HARDWOOD	O.D.	OUTSIDE DIAMETER			W.R.	WASTE RECEPTACLE or WATER RESISTANT
D.F.	DRINKING FOUNTAIN	HWR.	HARDWARE	O.D.	OUTSIDE DIAMETER			W.S.	WEATHER STRIPPING
DN.	DIAMETER	H.M.	HOLLOW METAL	OFF.	OFFICE			W.W.F.	WELDED WIRE FABRIC
DN.	DIMENSION	HORIZ.	HORIZONTAL	O.H.	OVERHEAD			SHLV.	SHELVES
DN.	DOWN	H.P.	HIGH POINT	OPNG.	OPENING			SIM.	SIMILAR

SYMBOLS LEGEND



- DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACK HAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED PER CITY REQUIREMENTS. THIS PROVISION EXTENDS TO ALL EQUIPMENT USED IN THE WORK.
- ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND BE FREE OF VIBRATIONS TO THE EXTENT POSSIBLE.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, WORKMANSHIP, AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR OPERATIONS OR OPERATIONS OF ANY OTHER CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE TO THE OWNER. THE PROJECT SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF THE OWNER AND THE DISPOSITION TO ALL SALVAGED MATERIALS TO BE CLEARED WITH THE OWNER PRIOR TO REMOVAL. PREMISES TO BE SWEEP CLEAN OF RELATED CONSTRUCTION DEBRIS DAILY.
- UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. THE ARCHITECT SHALL REVIEW THE WORK AND COMPLETE A PUNCH LIST OF NEEDED CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE CONTRACT.
- THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATERIALS USED ON WALLS AND CEILINGS MUST COMPLY WITH 2016 CBC CHAPTER 8, AS WELL AS ALL CODE REQUIREMENT FOR FIRE RATING.
- DRAWINGS IN THIS SET AND THE DESIGNS THEREON ARE THE PROPERTY OF STUDIO G ARCHITECTS, INC. AND SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM STUDIO G ARCHITECTS, INC.
- IT IS INTENDED THAT THE GENERAL CONTRACTOR WILL PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF THE WORK SHALL NOT BE CONSTRUED AS RELIEVING THE GENERAL CONTRACTOR OF SUCH RESPONSIBILITIES AS ARE IMPLIED BY THE SCOPE OF WORK, EXCEPT ITEMS SPECIFICALLY NOTED.
- ELECTRICAL CONTRACTORS SHALL FURNISH AND INSTALL ALL FIXTURES, LAMPS AND ACCESSORIES AS INDICATED ON THE DRAWINGS. DESIGN INTENT IS THAT ALL FIXTURES ARE TO BE COMPLETE WITH LAMPS AND ACCESSORIES FOR FULLY FUNCTIONAL ELECTRICAL SYSTEMS. SUBSTITUTIONS WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.
- HEATING, VENTILATING, AND AIR CONDITIONING: ALL WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE OPERABLE FORCED AIR HEATING, VENTILATING AND AIR CONDITIONING SYSTEM, IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES, REQUIREMENTS OF THE SERVICING UTILITY AND FUNCTIONS SHOWN ON THE DRAWINGS.
- ELECTRICAL: ALL WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE WIRING SYSTEM INCLUDING, BUT NOT LIMITED TO, OUTLETS, WALL SWITCHES, AND INSTALLATION OF LIGHTING FIXTURES, LAMPS, APPLIANCES, AND LIKE ACCESSORIES AS INDICATED ON THE DRAWINGS OR AS REQUIRED FOR THE COMPLETION OF THE WORK.
- PLUMBING: ALL WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE SYSTEM INCLUDING, BUT NOT LIMITED TO, DRAIN-WASTE AND VENT LINES, HOT AND COLD WATER LINES, AND GAS LINES AS INDICATED ON THE DRAWINGS, SAW CUTTING, AND BACKFILL IS REQUIRED AND CONSIDERED PART OF THE CONTRACTOR, AS IS THE INSTALLATION OF ALL FIXTURES AND APPLIANCES. THE SYSTEM SHALL MEET THE REQUIREMENTS OF THE STATE BOARD OF HEALTH AND ALL LOCAL CODES AND REGULATIONS.
- THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL EXISTING AND NEW ELECTRICAL AND PLUMBING FIXTURES (LOCAL BUILDING CODES) AND SHALL SUBMIT THOSE SIGNS (LOCATE SIGNS ON PLAN AND PROVIDE CUT SHEETS FOR STYLES) TO THE OWNER AND ARCHITECT FOR REVIEW AND APPROVAL.
- THE GENERAL CONTRACTOR SHALL ESTABLISH THE LOCATION OF ALL NEW WALLS IN THE FIELD ON THE FLOOR, EITHER WITH CHALK LINES OR TAPE, AS APPROPRIATE. THE GENERAL CONTRACTOR SHALL ARRANGE A WALK OF THE ENTIRE PROJECT AREAS WITH THE OWNER/INTENDANT AND ARCHITECT TO CONFIRM THE SIZE, SHAPE, AND PLACEMENT OF ALL ROOMS TO OBTAIN OWNER/INTENDANT APPROVAL PRIOR TO EXECUTION OF FRAMING ANY NEW WALLS. IF THE OWNER/INTENDANT REQUESTS ANY CHANGE, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH ANY CHANGE.
- FINISHES SHOWN IN ELEVATION SHALL BE ASSUMED TO WRAP ON ADJACENT SURFACE (WHICH MAY NOT NECESSARILY BE SHOWN IN ELEVATION). GENERAL CONTRACTOR SHALL WALK PROJECT WITH THE OWNER/INTENDANT AND ARCHITECT TO CONFIRM ALL START AND STOP POINTS OF FINISHES.

GENERAL EXITING NOTES

- REFER TO SITE PLAN SHEETS FOR SITE ACCESS COMPLIANCE - PATH OF TRAVEL DOCUMENTATION.
- REFER TO ENLARGED RESTROOM PLANS FOR ACCESS COMPLIANCE IN RESTROOMS.
- ALL CARD READER AND BADGE READER DEVICES SHALL COMPLY WITH CBC 101.01.9.8
- CONTRACTOR TO FIELD VERIFY (E) DOOR HARDWARE & FRAMING DEVICE FOR OPERABLE CONDITION, & REPLACE WITH NEW AS REQUIRED. NOTIFY THE LANDLORD & TENANT OF ANY DAMAGED HARDWARE PRIOR TO CONSTRUCTION
- CONTRACTOR TO VERIFY EXISTING FIRE ALARM SYSTEM CONDITION. IF ONE DOES NOT EXIST, PROVIDE MINIMUM FIRE ALARM & SPRINKLER DESIGN SYSTEM PER CBC 201.6, SECTION 907.2.2. FIRE ALARM & SPRINKLER DESIGN SHALL BE PREPARED & SUBMITTED FOR CITY APPROVAL BY LICENSED FIRE CONSULTANT UNDER SEPARATE COVER.
- EGRESS PLAN AND PLUMBING FIXTURE COUNTS ARE BASED ON AN OFFICE OCCUPANT LOAD THROUGHOUT THE BUILDING. FUTURE TENANT IMPROVEMENTS MAY BE REQUIRED TO MODIFY EXITS AND PROVIDE ADDITIONAL PLUMBING FIXTURES DEPENDING ON NEW OCCUPANT LOAD.
- FIRE EXTINGUISHER LOCATIONS TO BE VERIFIED AND COORDINATED WITH THE FIRE DEPARTMENT.
- PROVIDE INTERNATIONAL ACCESSIBILITY SYMBOL AT ENTRY OF BUILDING.
- PROVIDE PANIC HARDWARE ON ALL EXIT DOORS ON EGRESS PATH OF TRAVEL.
- SEE EXIT DOOR WIDTH REQUIREMENTS AND TACTILE EXIT SIGN DETAILS ON EXITING SHEETS "A-X".

GENERAL DIMENSION PLAN NOTES

- ALIGN FINISHED FACE TO FINISHED FACE AS NOTED.
- ALL DOORS ADJACENT TO WALLS ARE GIVEN AS 4" FROM FACE OF JAMB TO FACE OF FINISH OF ADJACENT WALL, TYPICAL U.O.N.
- ALL WALL DIMENSIONS TO FINISHED FACE U.O.N.
- CURTAIN WALL DIMENSIONS TO OUTSIDE FACE OF FRAME U.O.N.
- DOOR FINISH OPENING 5" FROM FINISHED SURFACE OF WALL TYP.
- GENERAL CONTRACTOR TO REVIEW WALL LAYOUT WITH ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- RAILING DIMENSIONS TO CENTER OF RAILING U.O.N.
- SEE WINDOW ELEVATIONS FOR WINDOW MULLION DIMENSIONS.
- WINDOW DIMENSIONS TO OUTSIDE EDGE OF FRAME U.O.N.

GENERAL CONSTRUCTION PLAN NOTES

- ALL GYP. BD. PARTITIONS SHALL BE TAPED AND SANDED SMOOTH TO A LEVEL 4 FINISH U.O.N. CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHEREVER REQUIRED. THESE SURFACES SHALL BE ALIGNED AND SANDED SMOOTH. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, U.O.N. ALL CLEAR DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL.
- CONTRACTOR SHALL PROVIDE MOISTURE RESISTANT GYP. BD. IN BATHROOMS AS NOTED. SHOWER AREAS EXPOSED TO GREATER CONCENTRATIONS OF MOISTURE SHALL BE TAPED TO RECEIVE THE BACKER BOARD.
- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. PROTECT AND MAINTAIN DURING CONSTRUCTION. CONTRACTORS PRICING SHALL INCLUDE MODIFYING THE EXISTING FIRE SPRINKLER AND FIRE ALARM SYSTEMS AS REQUIRED FOR NEW PLAN LAYOUT AND CODE REQUIREMENTS INCLUDING ADA. CONTRACTOR WILL BE RESPONSIBLE FOR THE DRAWINGS, SUBMITTAL, AND APPROVAL OF ANY FIRE SPRINKLER AND FIRE ALARM WORK AS A DEFERRED SUBMITTAL.
- FINISH FACES SHALL ALIGN AT JUNCTION OF NEW AND EXISTING CONSTRUCTION U.O.N.
- LIGHTINGS/SIGNAGE SHALL COMPLY WITH CBC SECTION 101.1.
- MAINTAIN ALL EXISTING RATED CONSTRUCTION UNLESS OTHERWISE NOTED ON PLANS. PATCH AND REPAIR AS REQUIRED TO INSURE INTEGRITY OF EXISTING FIRE RATINGS.
- PATCH AND REPAIR ALL AREAS THAT ARE AFFECTED DURING CONSTRUCTION.
- PERFORMATIONS OF FIRE-RATED CONSTRUCTION TO COMPLY WITH CURRENT UL STANDARDS.
- PRESERVE AND MAINTAIN EXITS THROUGHOUT CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL ESTABLISH THE LOCATION OF ALL NEW WALLS IN THE FIELD ON THE FLOOR, EITHER WITH CHALK LINES OR TAPE AS APPROPRIATE. THEN GENERAL CONTRACTOR SHALL ARRANGE A WALK OF THE ENTIRE PROJECT AREA WITH THE OWNER AND ARCHITECT TO CONFIRM THAT THE SIZE, SHAPE, AND PLACEMENT OF ALL ROOMS RECEIVES OWNER APPROVAL PRIOR TO FRAMING ANY NEW WALLS. IF THE OWNER REQUESTS ANY CHANGE, GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH SUCH CHANGE.
- UPON COMPLETION OF PARTITION LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR REVIEW AND VERIFICATION OF LAYOUT PRIOR TO PARTITION INSTALLATION.
- VERY POSITIONS OF STRUCTURAL MEMBERS TO BE LOCATED WITHIN NEW WALL CONSTRUCTION AND MAINTAIN INTERIOR CLEARANCES OF ROOMS. NOTIFY ARCHITECT OF DISCREPANCIES.
- SEE STRUCTURAL DRAWINGS FOR LOCATION OF ALL BEARING WALLS.

GENERAL REFLECTED CEILING PLAN NOTES

- ALL CEILING FIXTURES AND WIRING FOR LIGHT FIXTURES, EXIT SIGNS, OR OTHER ELECTRICAL DEVICES SHALL BE U.L. APPROVED, THERMALLY PROTECTED, AND SHALL BE INSTALLED IN CONDUIT OR OTHER WIRING METHOD APPROVED BY THE BUILDING DEPARTMENT.
- ALL LIGHT FIXTURES AND HVAC REGISTERS SHALL BE LOCATED ON CEILING GRID U.O.N. ALL CEILING FIXTURES INCLUDING ALL DOWNLIGHTS & SPRINKLER HEADS SHALL BE CENTERED ON PANEL OR TILE, TYPICAL UNLESS OTHERWISE NOTED.
- ALL LIGHTS & CEILING MOUNTED DEVICES SHALL BE CENTERED WITHIN VISUAL SIZE OF CEILING TILE, OR 1/2 OF TILE SIZE, U.O.N.
- LIGHT FIXTURES SHALL BE OF PoE & KELVIN TUNABLE TO TIE TO EXISTING SYSTEM.
- ALL NEW EXTERIOR LIGHTS SHALL BE DAMP LABEL TYPE, TYPICAL.
- ALL LIGHT FIXTURES SHALL COMPLY WITH CURRENT CAL-GREEN & TITLE-24 REQUIREMENTS.
- ALL NEW GYP. BD. CEILINGS & SOFFITS SHALL BE SMOOTH FINISH, MATCH LEVEL OF EXISTING. EXISTING SOFFITS TO REMAIN SHALL BE FINISHED TO SMOOTH LEVEL 4 AS WELL.
- ALL SWITCHES, THERMOSTATS, AND OTHER WALL-MOUNTED CONTROL DEVICES SHALL BE MOUNTED AT 48" ABOVE UNFINISHED FLOOR TO TOP OF BOX U.O.N.
- CONTRACTOR TO PROVIDE ANY MISSING ESCUTCHEONS AT SPRINKLER HEADS.
- EMERGENCY LIGHTING SHALL BE PROVIDED PER 2016 CBC SEC. 1006. NO SURFACE MOUNTED EMERGENCY LIGHTING FIXTURES WILL BE ACCEPTED. PROVIDE LOW-LEVEL EXIT SIGNS AND PATHWAY MARKINGS, WHERE REQUIRED BY 2016 CBC SEC. 1011.6 FOR "A" OCCUPANCIES.
- EXIT SIGNS ARE NORMALLY ILLUMINATED AT ALL TIMES AND PROVIDED WITH AN EMERGENCY ELECTRICAL SYSTEM FROM STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR SET TO INSURE CONTINUED ILLUMINATION FOR AT LEAST 90 MINUTES IN CASE OF PRIMARY POWER LOSS.
- EXIT SIGNS SHALL BE WALL MOUNTED WHERE ADJACENT TO WALL & PENDANT MOUNTED AT OTHER LOCATIONS. PENDANT MOUNT TYPE SHALL BE STEM TYPE, LENGTH VARIES, AND PROVIDE PROPER SEISMIC BRACING AS REQD. LOCATIONS SHALL BE FIELD COORDINATED PRIOR TO INSTALL.
- HOONS AND SIZES SHALL BE PROVIDED THROUGHOUT AREA OF WORK AS REQUIRED TO MEET TITLE 24 REQUIREMENTS. LAYOUT MUST BE SUBMITTED TO SGA FOR APPROVAL PRIOR TO INSTALLATION.
- LIGHT FIXTURES AND SWITCHING SHALL CONFORM TO TITLE 24 REQUIREMENTS. DOUBLE SWITCH EACH FIXTURE SEPARATELY. ADDITIONALLY, LIGHT FIXTURES IN AREA OF WORK WITHIN 15'-0" OF EXTERIOR GLASS SHALL BE DOUBLE SWITCHED SEPARATELY PER CODE REQUIREMENTS. PROVIDE A CONSISTENT LAMP COLOR TEMPERATURE THROUGHOUT THE SPACE. MATCH EXISTING BUILDING STANDARD LAMP U.O.N.
- NOTIFY ARCHITECT OF ANY CONFLICTS WITH THE SUSPENDED CEILING GRID SYSTEM, HVAC, OR SPRINKLER FIXTURES PRIOR TO INSTALLATION. ALL FIXTURE RELOCATION IS SUBJECT TO SGA APPROVAL.
- OPEN TO STRUCTURE CEILING SHALL BE CLEANED OF DEBRIS, CAP ALL UNUSED CONDUIT, WIRE, PIPE & DUCT AND PREP TO RECEIVE NEW PAINT FINISH.
- PATCH AND REPAIR ALL AREAS THAT ARE AFFECTED DURING CONSTRUCTION.
- PROVIDE CEILING ACCESS PANELS AS REQUIRED FOR CODE COMPLIANCE AND MAINTENANCE OF ALL SYSTEMS ABOVE CEILING. CONTRACTOR TO ATTEMPT TO PROVIDE MULTIPLE POINTS OF ACCESS THROUGH ONE PANEL WHEN LAYING OUT UTILITIES ABOVE CEILING. PRIOR TO INSTALLATION, CONTRACTOR TO REVIEW IN FIELD WITH ARCHITECT AND OWNER THE LOCATIONS OF ALL PANELS. CEILING ACCESS PANELS TO BE PAINTED TO MATCH CEILING FINISH.
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- REWORK EXISTING LIGHT FIXTURE SWITCH LOCATIONS, HVAC DIFFUSER LOCATIONS, FIRE SPRINKLER LAYOUT AND THERMOSTAT LOCATIONS AS REQUIRED FOR NEW LOBBY LAYOUT.
- SUBMITTALS AND SHOP DRAWINGS FOR ALL LIGHT FIXTURES ARE REQUIRED FOR APPROVAL PRIOR TO PURCHASE OF MATERIALS/FIXTURES.
- THE GENERAL CONTRACTOR SHALL FIELD-VERIFY EXISTING ROOF INSULATION, AND PROVIDE AN ALLOWANCE TO REPLACE MISSING OR DEFICIENT AREAS AS REQUIRED BY THE BUILDING DEPARTMENT.
- THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. FINISHES, BRUSH-OUTS OF PAINT COLOR FOR ARCHITECTS AND TENANTS REVIEW PRIOR TO PURCHASE OF PAINT. ASSUME (2) ROUNDS OF REVISIONS TO COLOR.
- CONTRACTOR TO SUBMIT ALL SAMPLES FOR ARCHITECTS REVIEW WITH OWNER. ASSUME (2) REVISIONS TO PAINT COLOR AFTER REVIEW IN FIELD. ASSUME (1) POTENTIAL REVISION TO BE BACK PAINTED GLASS AND CUSTOMED METAL COLORS.
- SAMPLES: PROVIDE 12" x 12" SQ. OFFICE SAMPLES AND MIN 4"x4" BRUSH-OUT ON BUILDING FOR FINAL APPROVAL. NO PAINTING TO PROCEED WITHOUT WRITTEN APPROVAL OF PAINT COLOR BY ARCHITECT. PAINT ALL EXTERIOR WALLS.
- CARPET SYSTEMS: ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING & PRODUCT REQUIREMENTS OF ONE OF THE STANDARDS LISTED IN SECTION 5.504.4.4.
- COMPOSITE WOOD PRODUCTS: HARDWOOD, PLYWOOD, PARTICLEBOARD & MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 5.504.4.5.
- FINISH MATERIALS POLLUTANT CONTROL: FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.4
- PAINTS AND COATING: ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH TABLE 5.504.4.3 UNLESS MORE STRINGENT LOCAL LIMITS APPLY. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.
- PROVIDE 10% OVERAGE OF ALL FINISHES FOR TENANT.

GENERAL FINISHES NOTES

- ADHESIVES, SEALANTS & CAULKS: ADHESIVES, SEALANTS & CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE STANDARDS LISTED IN CGC 5.504.4.1
- ALL AREAS TO RECEIVE PATCH & REPAIR SHALL MATCH ADJACENT FINISHES, TYPICAL UNLESS OTHERWISE NOTED.
- ALL EXISTING PAINTED SURFACES SHALL RECEIVE NEW PAINT, U.O.N.
- ALL FINISH MATERIALS, PAINTS, AND CARPETS TO COMPLY WITH CURRENT CALGREEN.
- ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL FINISHES AND FLOORING FINISHES SHALL COMPLY WITH 2016 CALGREEN, VOC REQUIREMENTS PER TABLE 5.504.4.1
- ALL FINISHES SHOWN IN ELEVATION - ASSUME WRAP BACK TO NEXT PARTNER SURFACE. ALIGN JOINTS GROUT/CONTROL LINES AROUND CORNER. REVIEW ALL TRANSITIONS WITH ARCHITECT.
- ALL FLOORING SHALL CONTINUE UNDER TOEPIECES AND COUNTERTOP OVERHANGS OF ALL CASEWORK, TYPICAL THROUGHOUT.
- ALL PAINTED SURFACES SHALL RECEIVE (2) COATS OF PAINT, TYPICAL UNLESS NOTED OTHERWISE.
- ALL WALL AND CEILING INTERIOR FINISH MATERIALS SHALL MEET THE REQUIREMENT OF CHAPTER 8 OF THE CALIFORNIA FIRE CODE. DECORATIVE MATERIALS SHALL BE FIRE RETARDANT.
- ALL WALLS SHALL BE MIN LEVEL 4 SMOOTH FINISH & PAINT P.1. U.O.N. PROTECT ALL (E) FLOOR FINISHES TO REMAIN WITH MASONITE DURING CONSTRUCTION.
- ALL WALLS WITH/OF GRAPHICS, WRITABLE FINISH, AND WRITABLE WALL COVERINGS SHALL BE MINIMUM LEVEL 5 SMOOTH FINISH, FREE OF WALL DEVICES, UNO.
- ALL WALLS WITH DECORATIVE MATERIALS & FINISHES SHALL BE FREE OF WALL DEVICES, UNO.
- CONTRACTOR SHALL PROVIDE (3) 4"x4" WALL SAMPLE BRUSH-OUTS OF PAINT COLOR FOR ARCHITECTS AND TENANTS REVIEW PRIOR TO PURCHASE OF PAINT. ASSUME (2) ROUNDS OF REVISIONS TO COLOR.
- CONTRACTOR TO SUBMIT ALL SAMPLES FOR ARCHITECTS REVIEW WITH OWNER. ASSUME (2) REVISIONS TO PAINT COLOR AFTER REVIEW IN FIELD. ASSUME (1) POTENTIAL REVISION TO BE BACK PAINTED GLASS AND CUSTOMED METAL COLORS.
- SAMPLES: PROVIDE 12" x 12" SQ. OFFICE SAMPLES AND MIN 4"x4" BRUSH-OUT ON BUILDING FOR FINAL APPROVAL. NO PAINTING TO PROCEED WITHOUT WRITTEN APPROVAL OF PAINT COLOR BY ARCHITECT. PAINT ALL EXTERIOR WALLS.
- CARPET SYSTEMS: ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING & PRODUCT REQUIREMENTS OF ONE OF THE STANDARDS LISTED IN SECTION 5.504.4.4.
- COMPOSITE WOOD PRODUCTS: HARDWOOD, PLYWOOD, PARTICLEBOARD & MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 5.504.4.5.
- FINISH MATERIALS POLLUTANT CONTROL: FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.4
- PAINTS AND COATING: ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH TABLE 5.504.4.3 UNLESS MORE STRINGENT LOCAL LIMITS APPLY. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.
- PROVIDE 10% OVERAGE OF ALL FINISHES FOR TENANT.

GENERAL

BUILDING ENERGY ANALYSIS REPORT

PROJECT:

Cochrane Circle Office
480 Cochrane Circle
Morgan Hill, CA

Project Designer:

Studio G Architects, Inc.
299 Bassett St, #250
San Jose, CA 95110
408-283-0100

Report Prepared by:

Nicholas Bignardi
FRI Energy Consultants, LLC
21 N. Harrison Ave, Ste 210
Campbell, CA 95008
408-866-1620

Job Number:

020090

Date:

4/5/2020

The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with the Residential and Nonresidential 2019 Building Energy Efficiency Standards. This program developed by EnergySoft Software - www.energysoft.com.

Table with project details, general information, and compliance summary. Includes sections for A. GENERAL INFORMATION, B. PROJECT SUMMARY, C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS, and G. ENVELOPE GENERAL INFORMATION.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table with project details, compliance results for performance components, and miscellaneous energy components. Includes sections for C1. COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS and C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table with project details, exceptional conditions, and miscellaneous energy components. Includes sections for D. EXCEPTIONAL CONDITIONS and C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table H. FENESTRATION ASSEMBLY SUMMARY §110.6. Columns include Fenestration Assembly Name, Fenestration Type, Certification Method, Assembly Method, Area, Overall SHGC, Overall VT, and R-Value.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table I. ENVELOPE SURFACE ASSEMBLY SUMMARY. Columns include Surface Name, Surface Type, Description of Assembly Layers, Area, Framing Type, Cavity R-Value, Continuous R-Value, U-Factor, and F-Factor.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table J. CRRC ROOFING PRODUCT SUMMARY §140.3. Columns include Assembly Name, Roof Pitch, Aged Solar Reflectance, Thermal Emittance, and SRI.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION. Table with columns for Building Component, YES/NO, and Field Inspector.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE. Table with columns for Building Component, YES/NO, and Field Inspector.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE. Table with columns for Building Component, YES/NO, and Field Inspector.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table Q. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION. Table with columns for Building Component, YES/NO, and Field Inspector.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

Table R. DOCUMENTATION AUTHOR'S DECLARATION STATEMENT. Includes signature and date of the documentation author.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33

299 BASSETT ST., SUITE 250
SAN JOSE, CA 95110
T:408.283.0100



PROJECT ADDRESS
480 COCHRANE CIRCLE
MORGAN HILL, CA

COMMERCIAL OFFICE BUILDING for
TECHCON
CONSTRUCTION, INC.



CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-03312020-6206 Report Generated at: 2020-04-05 11:07:33



Nicholas Bignardi, Architect

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REVISIONS

Table with columns for NO., DATE, and DESCRIPTION. Shows revisions for 4/24/2020 and 6/5/2020.

DATE 8/1/2019
SCALE
PROJECT ID 2019.95
DRAWN BY TB, CW

TITLE 24

SHEET TITLE

SHEET NO. A0.3

6/18/2020 2:32:01 PM



kelly a. simcox, architect

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REVISIONS table with columns: NO., DATE, DESCRIPTION. Row 1: 1, 6/5/2020, RESUBMITTAL.

DATE: 8/1/2019
SCALE:
PROJECT ID: 2019.95
DRAWN BY: TB, CW

SOLAR READY AREAS

STATE OF CALIFORNIA
Solar Ready Areas
NRCC-SRA-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE
Project Name: Cochran Circle Office Report Page: (Page 1 of 5)
Project Address: 480 Cochran Circle Date Prepared: 5/22/2020

A. GENERAL INFORMATION table with columns: 01 Project Location (city), 02 Climate Zone, 03 Building Type, 04 Construction Type, 05 Building Type, 06 Construction Type.

B. PROJECT SCOPE
The compliance path the project is using to comply per §110.10(b)(18) is indicated below.

Table with 2 columns: Exception to Solar Ready Area, Description. Includes exceptions for solar ready area, solar water heating system, and smart thermostat.

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
Registration Date/Time: Report Version: 2019.1.003
Registration Provider: Energysoft Schema Version: rev. 20190401

STATE OF CALIFORNIA
Solar Ready Areas
NRCC-SRA-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE
Project Name: Cochran Circle Office Report Page: (Page 2 of 5)
Project Address: 480 Cochran Circle Date Prepared: 5/22/2020

C. COMPLIANCE RESULTS
Results in this table are automatically calculated from data input and calculations in Tables F through I. Note: If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D, for guidance or see the applicable Table referenced below.

Table with columns: Allocated Solar Zone (01-02), Installed PV System (03-04), Installed SWH System (05-06), Smart Tstat and Alternative EE Measure (07-08), 09. Includes compliance status for each category.

D. EXCEPTIONAL CONDITIONS
This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS
This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
Registration Date/Time: Report Version: 2019.1.003
Registration Provider: Energysoft Schema Version: rev. 20190401

STATE OF CALIFORNIA
Solar Ready Areas
NRCC-SRA-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE
Project Name: Cochran Circle Office Report Page: (Page 3 of 5)
Project Address: 480 Cochran Circle Date Prepared: 5/22/2020

F. ALLOCATED SOLAR ZONE
This table is completed if the project is designating a solar zone to comply with §110.10(b)(18). New construction consider the total roof area. Additions consider newly added roof area. This table demonstrates that the project has designated the minimum area required for the Allocated Solar Zone, and also that the requirements for Solar Zone Subareas have been met.

Required Minimum Solar Zone table with columns: 01-08. Includes Minimum Solar Zone Area Calculation Method, Total New or Added Roof Area, and Potential Solar Zone Areas.

Designated Solar Zone Subareas table with columns: 09-19. Includes Subarea Name or Tag, Building Plan Reference, Roof or Overhang Slope, and Subarea Complies?

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
Registration Date/Time: Report Version: 2019.1.003
Registration Provider: Energysoft Schema Version: rev. 20190401

STATE OF CALIFORNIA
Solar Ready Areas
NRCC-SRA-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE
Project Name: Cochran Circle Office Report Page: (Page 4 of 5)
Project Address: 480 Cochran Circle Date Prepared: 5/22/2020

Interconnection Pathways
Location in construction documents showing the location for inverters and metering equipment and a pathway for the routing of conduit/plumbing to the electrical service/ water heating system per §110.10(c).

FOOTNOTE: This field is used to document how the percentage of annual solar access was determined per §110.10(b)(18). Solar access is the ratio of solar insolation including shade to the solar insolation without shade.

G. PERMANENTLY INSTALLED SOLAR PHOTOVOLTAIC (PV) SYSTEM
This section does not apply to this project.

H. PERMANENTLY INSTALLED SOLAR HOT WATER SYSTEMS
This section does not apply to this project.

I. SMART THERMOSTATS AND ALTERNATIVE EFFICIENCY MEASURE
This section does not apply to this project.

J. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
Selections have been made based on information provided in this document. If any selections have been changed by the permit applicant, an explanation should be included Table E.

Table with columns: Yes, No, Field Inspector (Pass/Fail). Includes rows for NRCI-SPV-01-E and NRCI-STH-01-E.

K. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
There are no Certificates of Acceptance applicable to solar ready requirements.

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
Registration Date/Time: Report Version: 2019.1.003
Registration Provider: Energysoft Schema Version: rev. 20190401

STATE OF CALIFORNIA
Solar Ready Areas
NRCC-SRA-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE
Project Name: Cochran Circle Office Report Page: (Page 5 of 5)
Project Address: 480 Cochran Circle Date Prepared: 5/22/2020

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Nicholas Bignardi
Company: PFI Energy Consultants, LLC
Address: 21 N. Harrison Ave, Ste 210
City/State/Zip: Campbell, CA 95008

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury under the laws of the State of California:

- 1. The information provided on this Certificate of Compliance is true and correct.
- 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the building provides to the building owner at occupancy.

Responsible Designer Name: Kelly Simcox
Company: Studio G Architects, Inc.
Address: 299 Bassett St, #250
City/State/Zip: San Jose CA 95110

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
Registration Date/Time: Report Version: 2019.1.003
Registration Provider: Energysoft Schema Version: rev. 20190401



Kelly S. Simcox, architect

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REVISIONS

NO.	DATE	DESCRIPTION
	8/14/2019	PLANNING SUBMITTAL
	11/22/2019	PLANNING RESUBMITTAL
	4/24/2020	BUILDING SUBMITTAL
1	6/5/2020	RESUBMITTAL

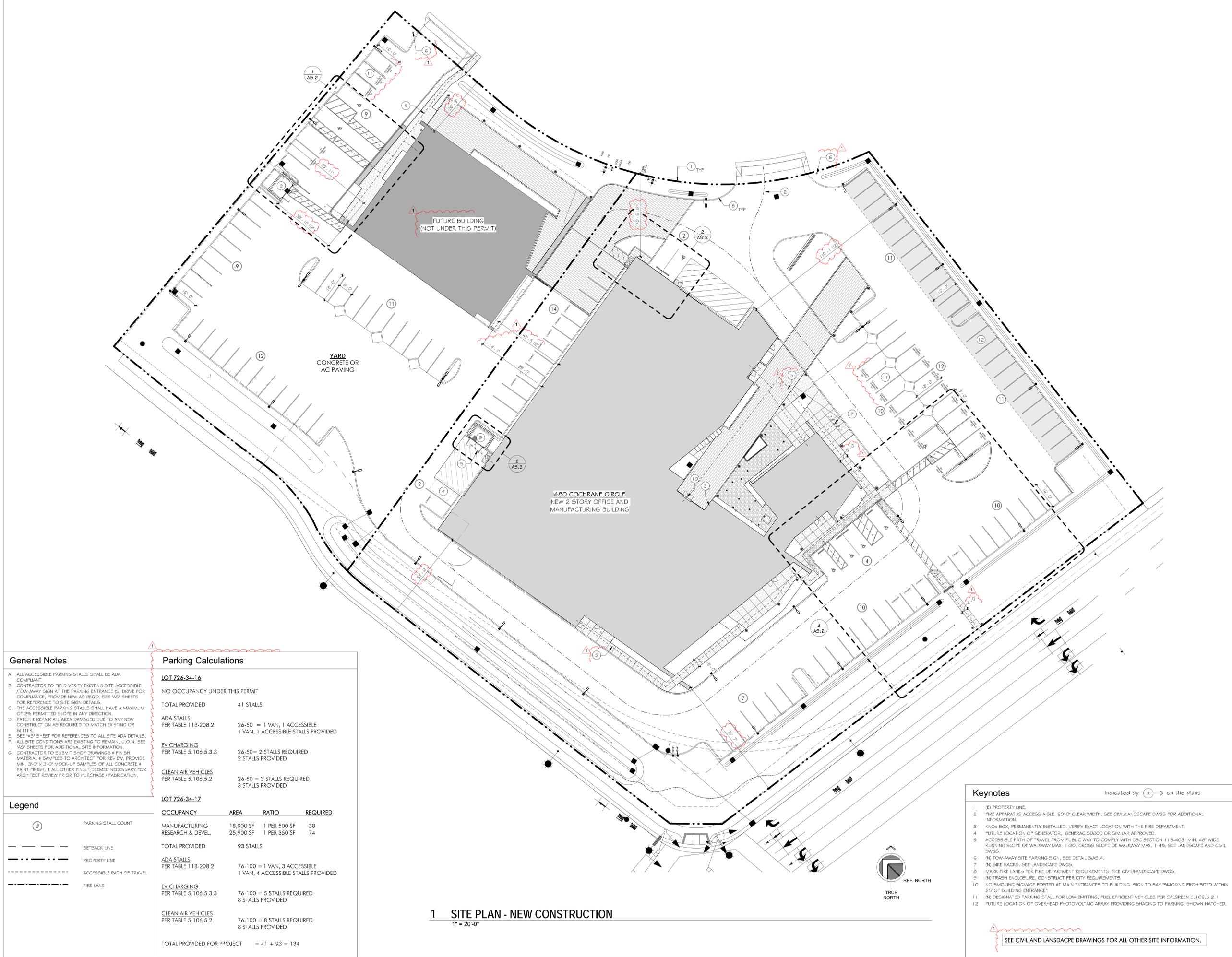
DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
DRAWN BY	TB, CW

SITE PLAN - ARCHITECTURAL

SHEET TITLE

SHEET NO. **AS.1**

6/18/2020 2:39:15 PM



General Notes

A. ALL ACCESSIBLE PARKING STALLS SHALL BE ADA COMPLIANT.
 B. CONTRACTOR TO FIELD VERIFY EXISTING SITE ACCESSIBLE TOW-AWAY SIGN AT THE PARKING ENTRANCE (S) DRIVE FOR COMPLIANCE, PROVIDE NEW AS REQ'D. SEE 'AS' SHEETS FOR REFERENCE TO SITE SIGN DETAILS.
 C. THE ACCESSIBLE PARKING STALLS SHALL HAVE A MAXIMUM OF 2% PERMITTED SLOPE IN ANY DIRECTION.
 D. PATCH & REPAIR ALL AREA DAMAGED DUE TO ANY NEW CONSTRUCTION AS REQUIRED TO MATCH EXISTING OR BETTER.
 E. SEE 'AS' SHEET FOR REFERENCES TO ALL SITE ADA DETAILS.
 F. ALL SITE CONDITIONS ARE EXISTING TO REMAIN, U.O.N. SEE 'AS' SHEETS FOR ADDITIONAL SITE INFORMATION.
 G. CONTRACTOR TO SUBMIT SHOP DRAWINGS & FINISH MATERIAL & SAMPLES TO ARCHITECT FOR REVIEW, PROVIDE MIN. 3'-0" X 3'-0" MOCK-UP SAMPLES OF ALL CONCRETE & PAINT FINISH, & ALL OTHER FINISH DEEMED NECESSARY FOR ARCHITECT REVIEW PRIOR TO PURCHASE / FABRICATION.

Parking Calculations

LOT 726-34-16
NO OCCUPANCY UNDER THIS PERMIT

TOTAL PROVIDED	41 STALLS
ADA STALLS PER TABLE 11B-208.2	26-50 = 1 VAN, 1 ACCESSIBLE 1 VAN, 1 ACCESSIBLE STALLS PROVIDED
EV CHARGING PER TABLE 5.106.5.3.3	26-50 = 2 STALLS REQUIRED 2 STALLS PROVIDED
CLEAN AIR VEHICLES PER TABLE 5.106.5.2	26-50 = 3 STALLS REQUIRED 3 STALLS PROVIDED

LOT 726-34-17

OCCUPANCY	AREA	RATIO	REQUIRED
MANUFACTURING	18,900 SF	1 PER 500 SF	38
RESEARCH & DEVEL.	25,900 SF	1 PER 350 SF	74
TOTAL PROVIDED	93 STALLS		
ADA STALLS PER TABLE 11B-208.2	76-100 = 1 VAN, 3 ACCESSIBLE 1 VAN, 4 ACCESSIBLE STALLS PROVIDED		
EV CHARGING PER TABLE 5.106.5.3.3	76-100 = 5 STALLS REQUIRED 8 STALLS PROVIDED		
CLEAN AIR VEHICLES PER TABLE 5.106.5.2	76-100 = 8 STALLS REQUIRED 8 STALLS PROVIDED		
TOTAL PROVIDED FOR PROJECT	= 41 + 93 = 134		

Legend

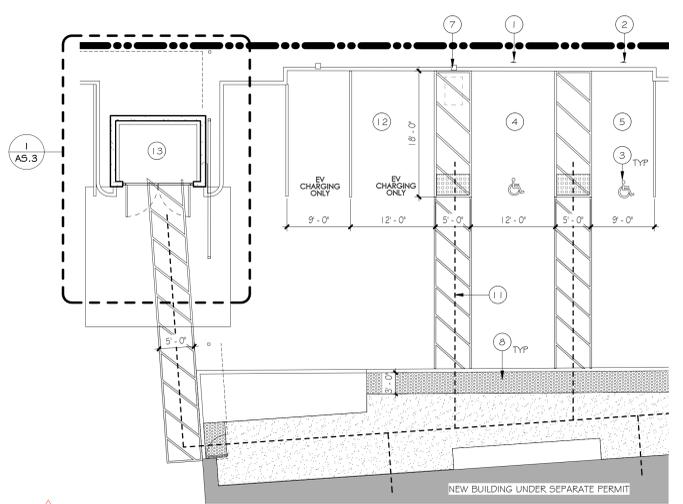
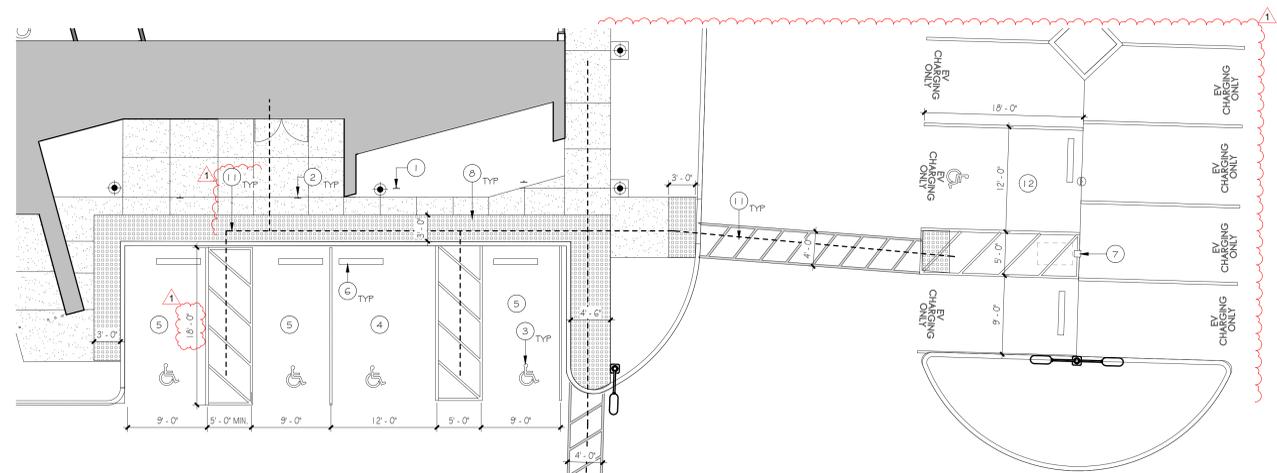
- # PARKING STALL COUNT
- SETBACK LINE
- - - - - PROPERTY LINE
- - - - - ACCESSIBLE PATH OF TRAVEL
- FIRE LANE

1 SITE PLAN - NEW CONSTRUCTION
1" = 20'-0"

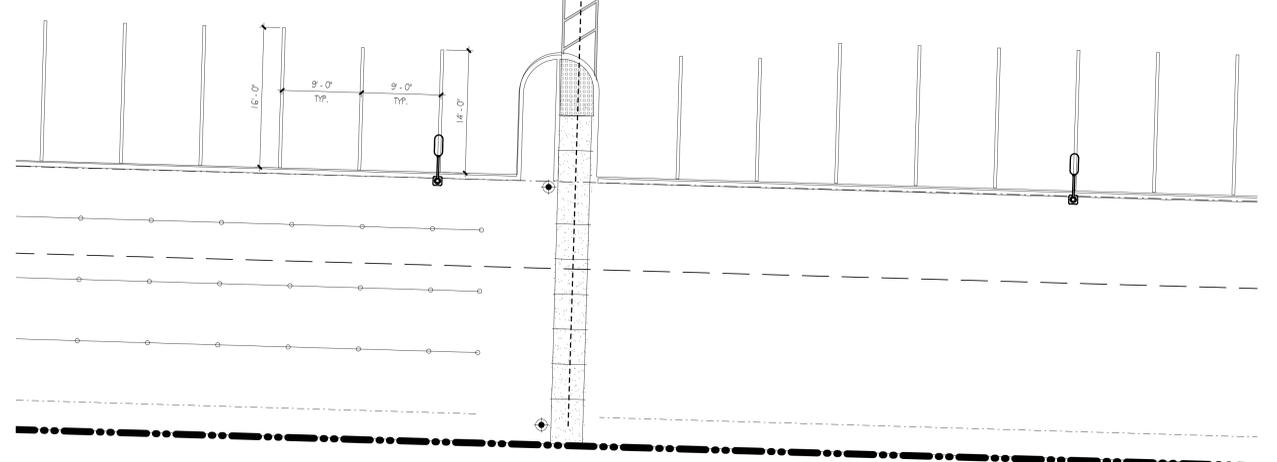
Keynotes Indicated by (x) → on the plans

- (D) PROPERTY LINE.
- FIRE APPARATUS ACCESS AISLE, 20'-0" CLEAR WIDTH. SEE CIVIL/LANDSCAPE DWGS FOR ADDITIONAL INFORMATION.
- KNOX BOX, PERMANENTLY INSTALLED. VERIFY EXACT LOCATION WITH THE FIRE DEPARTMENT.
- FUTURE LOCATION OF GENERATOR, GENERAC SDB00 OR SIMILAR APPROVED.
- ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY TO COMPLY WITH CBC SECTION 11B-403. MIN. 48" WIDE, RUNNING SLOPE OF WALKWAY MAX. 1:20. CROSS SLOPE OF WALKWAY MAX. 1:48. SEE LANDSCAPE AND CIVIL DWGS.
- (N) TOW-AWAY SITE PARKING SIGN, SEE DETAIL 3/AS.4.
- (N) BIKE RACKS, SEE LANDSCAPE DWGS.
- MARK FIRE LANES PER FIRE DEPARTMENT REQUIREMENTS. SEE CIVIL/LANDSCAPE DWGS.
- (N) TRASH ENCLOSURE, CONSTRUCT PER CITY REQUIREMENTS.
- NO SMOKING SIGNAGE POSTED AT MAIN ENTRANCES TO BUILDING. SIGN TO SAY "SMOKING PROHIBITED WITHIN 25' OF BUILDING ENTRANCE".
- (N) DESIGNATED PARKING STALL FOR LOW-EMITTING, FUEL EFFICIENT VEHICLES PER CALGREEN 5.106.5.2.1
- FUTURE LOCATION OF OVERHEAD PHOTOVOLTAIC ARRAY PROVIDING SHADING TO PARKING, SHOWN HATCHED.

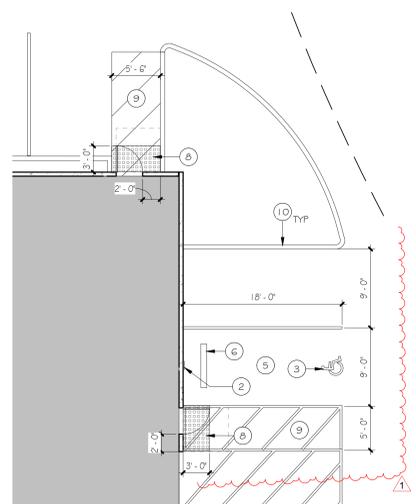
SEE CIVIL AND LANDSCAPE DRAWINGS FOR ALL OTHER SITE INFORMATION.



1 ACCESSIBLE PARKING
1" = 10'-0"



3 OFFICE ACCESSIBLE PARKING
1/8" = 1'-0"



2 FACTORY ACCESSIBLE PARKING
1/8" = 1'-0"

General Notes	Legend	Keynotes
<p>A. ALL ACCESSIBLE PARKING STALLS SHALL BE ADA COMPLIANT.</p> <p>B. CONTRACTOR TO FIELD VERIFY EXISTING SITE ACCESSIBLE /TOW-AWAY SIGN AT THE PARKING ENTRANCE (S) DRIVE FOR COMPLIANCE, PROVIDE NEW AS REQ'D. SEE 'AS' SHEETS FOR REFERENCE TO SITE SIGN DETAILS.</p> <p>C. THE ACCESSIBLE PARKING STALLS SHALL HAVE A MAXIMUM OF 2% PERMITTED SLOPE IN ANY DIRECTION.</p> <p>D. PATCH & REPAIR ALL AREA DAMAGED DUE TO ANY NEW CONSTRUCTION AS REQUIRED TO MATCH EXISTING OR BETTER.</p> <p>E. SEE 'AS' SHEET FOR REFERENCES TO ALL SITE ADA DETAILS.</p> <p>F. ALL SITE CONDITIONS ARE EXISTING TO REMAIN, U.O.N. SEE 'AS' SHEETS FOR ADDITIONAL SITE INFORMATION.</p> <p>G. CONTRACTOR TO SUBMIT SHOP DRAWINGS & FINISH MATERIAL & SAMPLES TO ARCHITECT FOR REVIEW, PROVIDE MIN. 3'-0" X 3'-0" MOCK-UP SAMPLES OF ALL CONCRETE & PAINT FINISH, & ALL OTHER FINISH DEEMED NECESSARY FOR ARCHITECT REVIEW PRIOR TO PURCHASE / FABRICATION.</p>	<p># PARKING STALL COUNT</p> <p>--- SETBACK LINE</p> <p>--- PROPERTY LINE</p> <p>--- ACCESSIBLE PATH OF TRAVEL</p> <p>--- FIRE LANE</p>	<p>Indicated by (x) → on the plans</p> <p>1 (N) VAN ACCESSIBLE PARKING SIGN, SEE DETAIL 5/AS.4.</p> <p>2 (N) ACCESSIBLE PARKING SIGN, SEE DETAIL 5/AS.4.</p> <p>3 (N) INTERNATIONAL SYMBOL OF ACCESSIBILITY, SEE DETAIL 4/AS.4.</p> <p>4 (N) VAN ACCESSIBLE PARKING, SEE DETAIL 2/AS.4.</p> <p>5 (N) ACCESSIBLE PARKING, SEE DETAIL 2/AS.4.</p> <p>6 (N) CONC. WHEEL STOP, SEE DETAIL 8/AS.4.</p> <p>7 ELECTRIC VEHICLE CHARGER LOCATION, SEE ELECTRICAL DWGS.</p> <p>8 (N) DETECTABLE WARNING, SEE DETAIL 7/AS.4.</p> <p>9 (N) STRIPING W/ 3" WIDE STRIPING AT 3'-0" O.C., LETTERS READING 'NO PARKING', SEE DETAIL 2/AS.4.</p> <p>10 (N) CONC. CURB, SEE LANDSCAPE DWGS.</p> <p>11 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY TO COMPLY WITH CBC SECTION 11B-403, MIN. 48" WIDE, RUNNING SLOPE OF WALKWAY MAX. 1:20, CROSS SLOPE OF WALKWAY MAX. 1:48, SEE LANDSCAPE AND CIVIL DWGS.</p> <p>12 (N) VAN ACCESSIBLE EV CHARGING STALL TO COMPLY WITH CBC 11B-512.</p> <p>13 (N) TRASH ENCLOSURE, CONSTRUCT PER CITY REQUIREMENTS.</p>



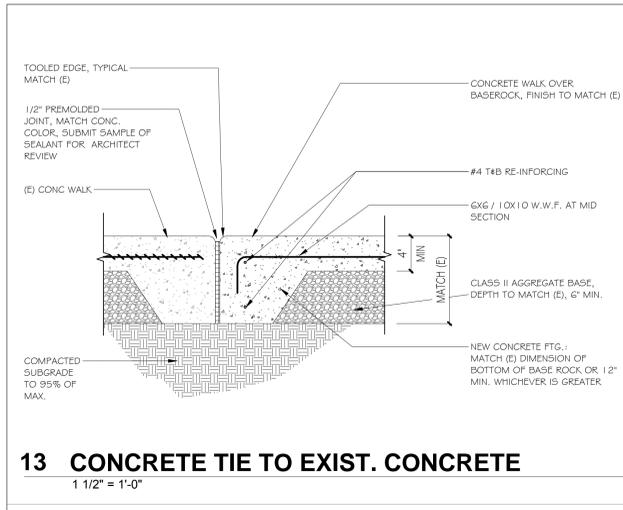
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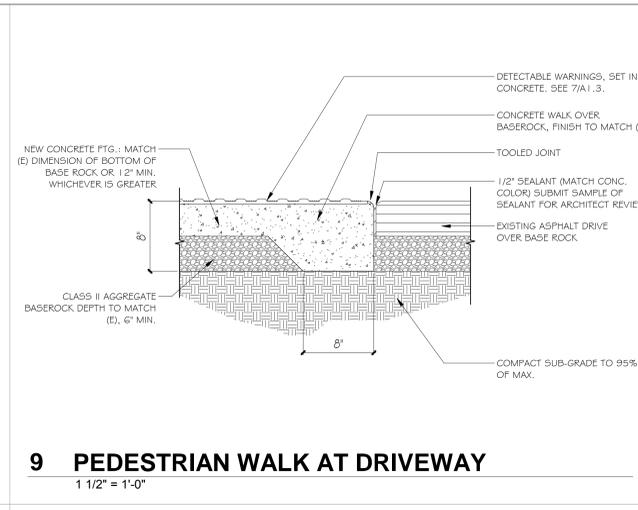
REVISIONS

NO.	DATE	DESCRIPTION
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	11/22/2019	PLANNING RESUBMITTAL
1	6/5/2020	RESUBMITTAL

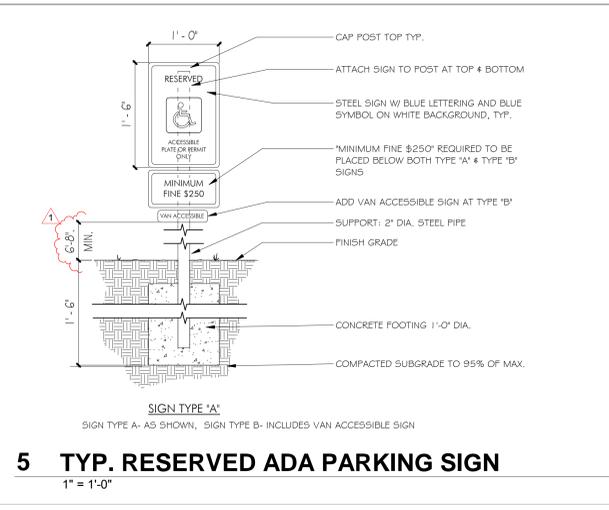
DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
DRAWN BY	TB, CW



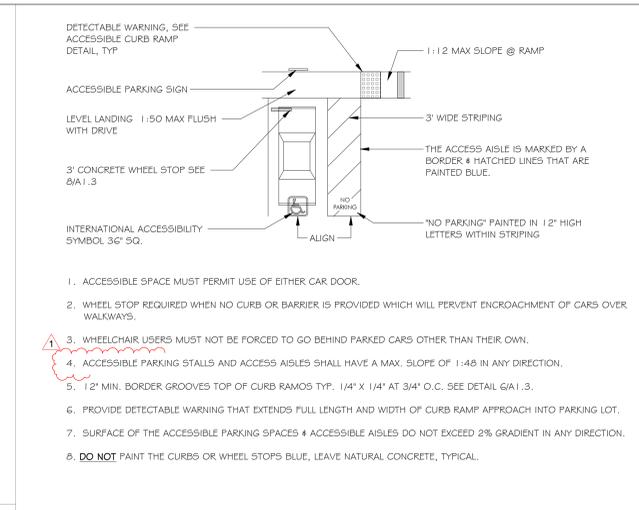
13 CONCRETE TIE TO EXIST. CONCRETE
1 1/2" = 1'-0"



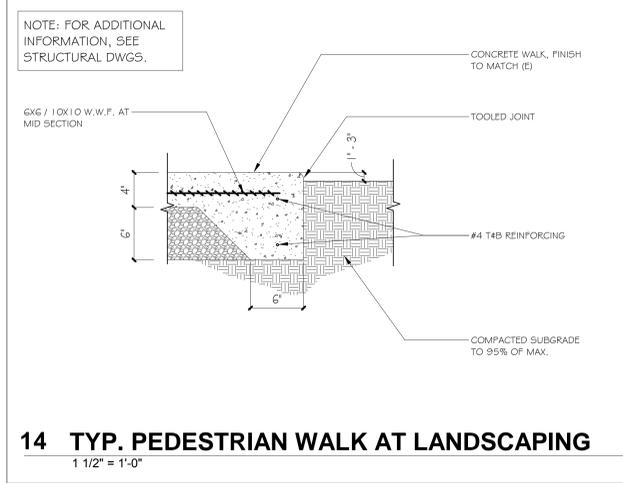
9 PEDESTRIAN WALK AT DRIVEWAY
1 1/2" = 1'-0"



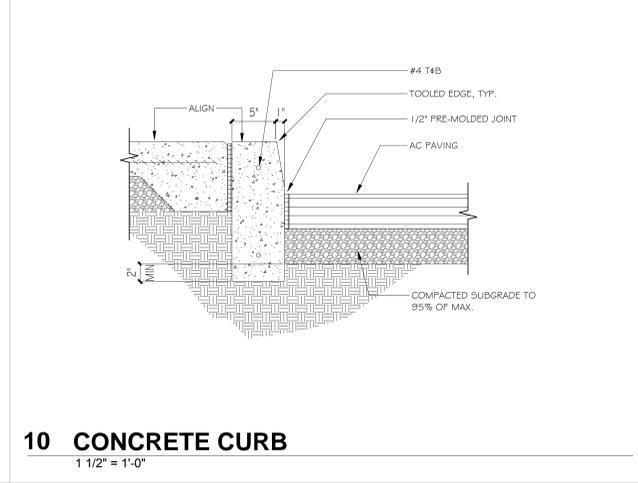
5 TYP. RESERVED ADA PARKING SIGN
1" = 1'-0"



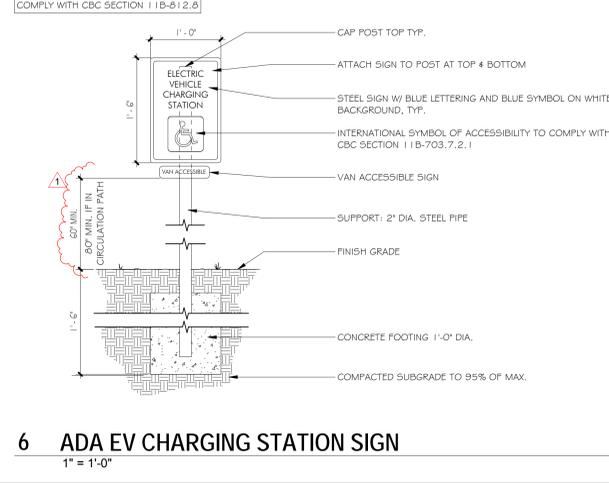
2 TYP. ADA PARKING SPACES
3/32" = 1'-0"



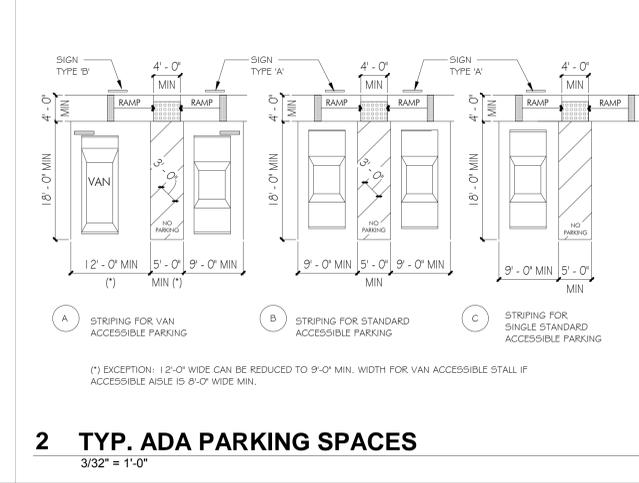
14 TYP. PEDESTRIAN WALK AT LANDSCAPING
1 1/2" = 1'-0"



10 CONCRETE CURB
1 1/2" = 1'-0"



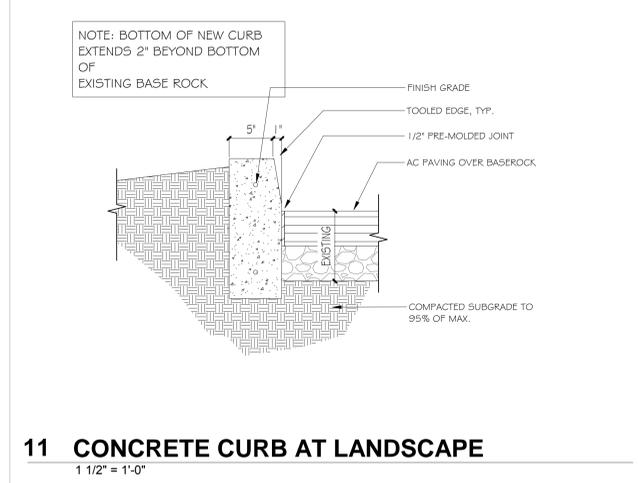
6 ADA EV CHARGING STATION SIGN
1" = 1'-0"



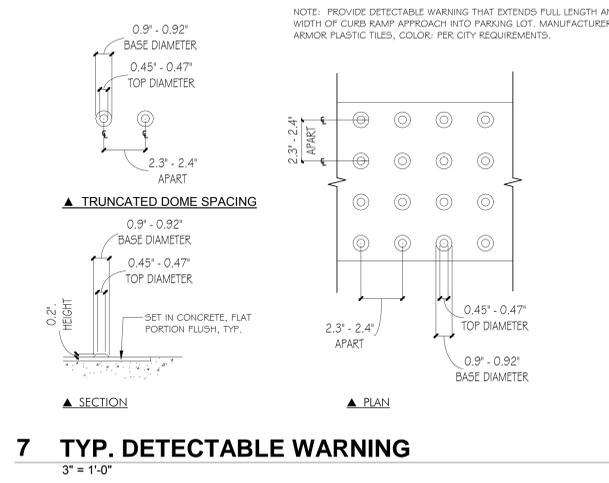
3 TYP. ADA PARKING TOWAWAY SIGN
1" = 1'-0"



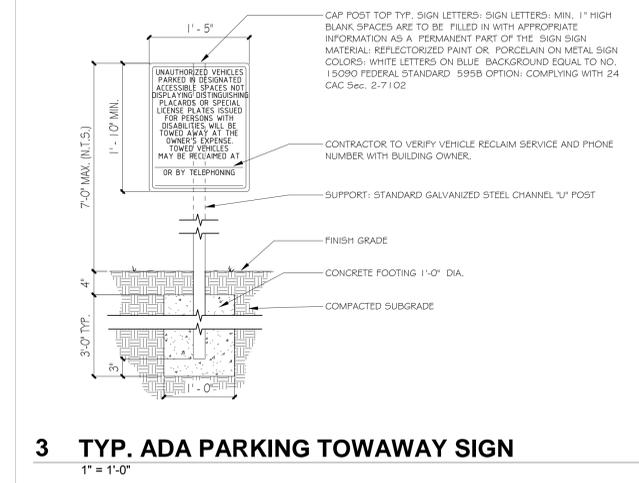
11 CONCRETE CURB AT LANDSCAPE
1 1/2" = 1'-0"



7 TYP. DETECTABLE WARNING
3" = 1'-0"



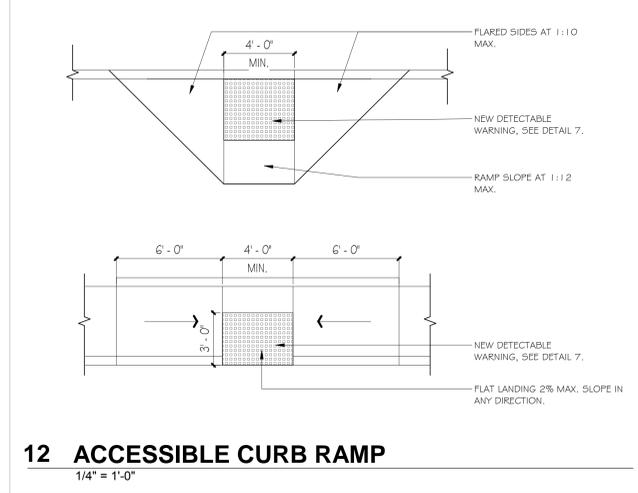
8 CONCRETE WHEELSTOP
1 1/2" = 1'-0"



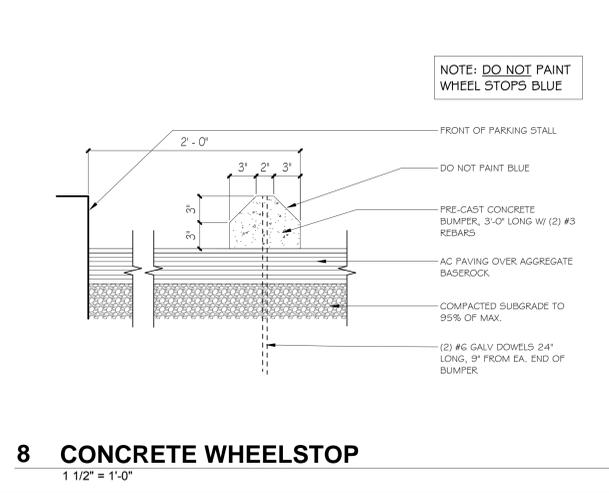
4 INTERNATIONAL SYMB. OF ACCESSIBILITY
3/4" = 1'-0"



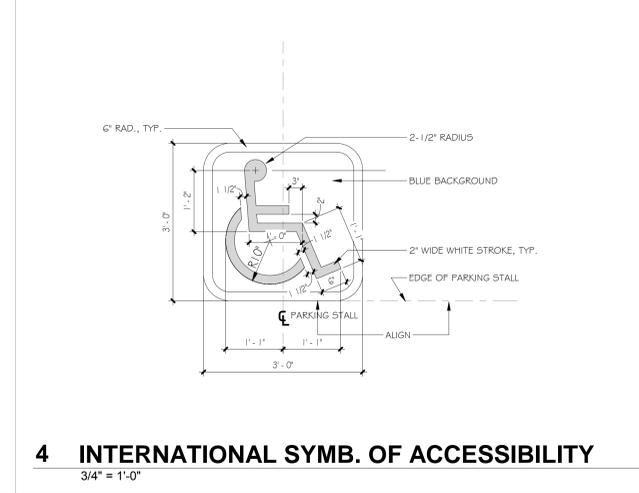
12 ACCESSIBLE CURB RAMP
1/4" = 1'-0"



13 CONCRETE TIE TO EXIST. CONCRETE
1 1/2" = 1'-0"



9 PEDESTRIAN WALK AT DRIVEWAY
1 1/2" = 1'-0"



5 TYP. RESERVED ADA PARKING SIGN
1" = 1'-0"

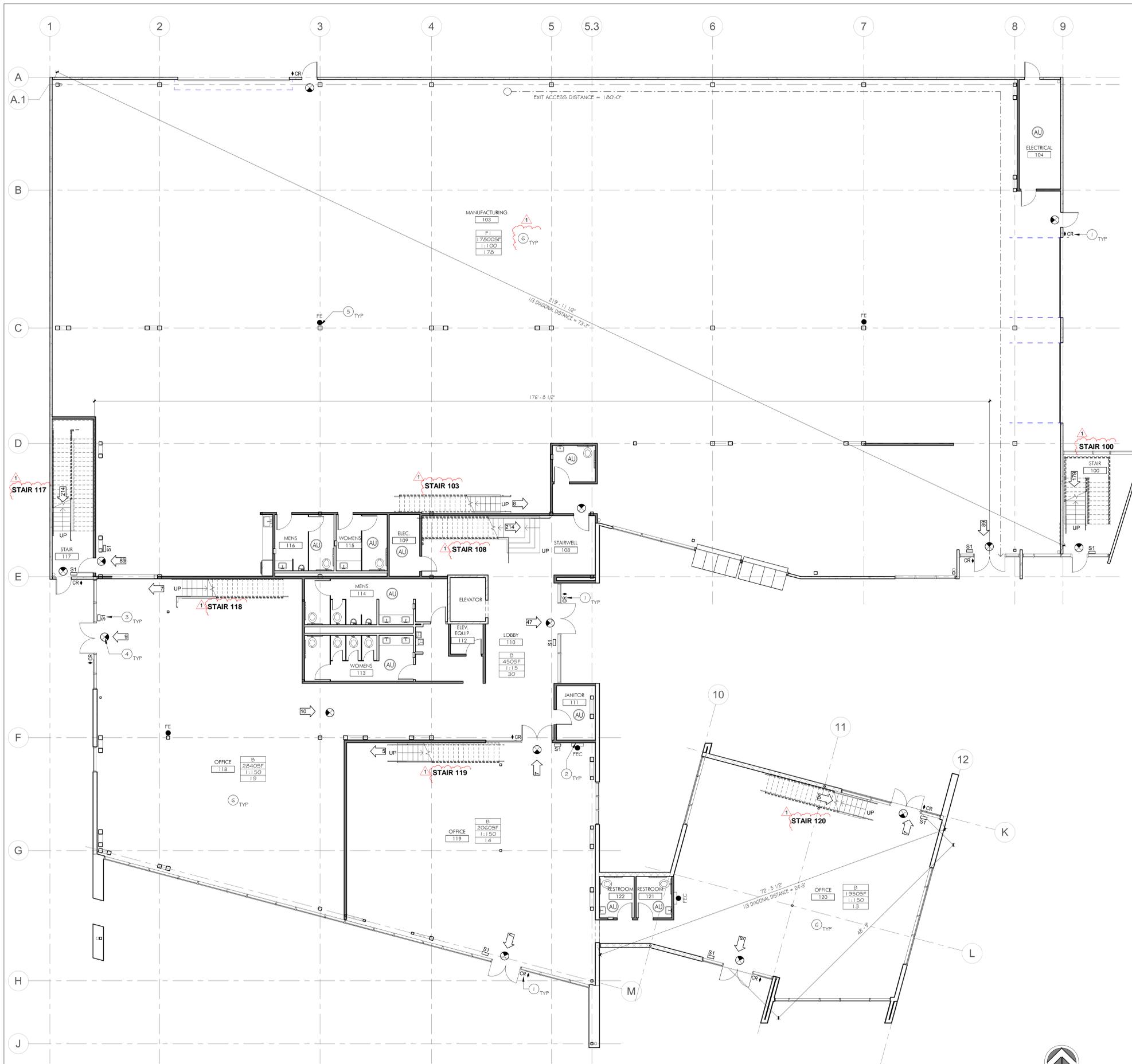
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REVISIONS

NO.	DATE	DESCRIPTION
	8/14/2019	PLANNING SUBMITTAL
	11/22/2019	PLANNING RESUBMITTAL
1	6/5/2020	RESUBMITTAL

DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
DRAWN BY	TB, CW



1 1ST FLOOR - EXITING PLAN
1/8" = 1'-0"

Keynotes

Indicated by (X) → on the plans

- (N) CARD READER DEVICE. DEVICE SHALL NOT HINDER USE FOR EGRESS PURPOSES. SEE DOOR SCHEDULE 4 EXITING PLAN FOR ADDITIONAL INFO.
- (N) SEMI-RECESSED FIRE EXTINGUISHER 4 CABINET, SEE DETAIL.
- (N) SURFACE MOUNTED TACTILE EXIT SIGN WITH WHITE LETTERS 4 CHARCOAL GREY BACKGROUND. PROVIDE WHITE VINYL BACKING IF MOUNTED ON GLASS TO COMPLETELY CONCEAL ADHESIVE. SEE TACTILE EXIT SIGNAGE DETAIL ON "EX" SHEETS.
- (N) ILLUMINATED EXIT SIGN TO COMPLY WITH CBC SECTION 1013.4. COORDINATE EXACT LOCATION WITH FIRE DEPARTMENT. SEE EXITING LEGEND.
- (N) POLE MOUNTED FIRE EXTINGUISHER.
- BUILDING TO BE EQUIPPED WITH BOTH AUTOMATIC FIRE SPRINKLER SYSTEM AND EMERGENCY VOICE/ALARM SYSTEM PER CBC SECTION 1005.3.1 AND 1005.3.2. SEE DEFERRED SUBMITTALS.

Plumbing Count

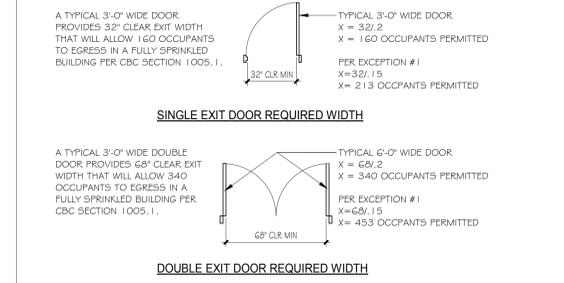
PLUMBING FIXTURES REQUIRED PER CFC TABLE 422.1

1ST FLOOR	2ND FLOOR
FACTORY (F1): 17,800 SF (1ST FLOOR) 17,800 / 2,000 = 9 PEOPLE: 5 MEN + 4 WOMEN MEN: 1 TOILET 0 URINALS 1 SINK WOMEN: 1 TOILET 1 SINK	OFFICE (B): 10,240 SF (1ST FLOOR) + 1,620 SF (MEZZ) 11,860 / 200 = 60 PEOPLE: 30 MEN + 30 WOMEN MEN: 1 TOILET 1 URINALS 1 SINK WOMEN: 1 TOILET 1 SINK
OFFICE (B): 6,850 SF (1ST FLOOR) + 2,930 SF (MEZZ) + 950 SF (PATIOS) 10,780 / 200 = 54 PEOPLE: 27 MEN + 27 WOMEN MEN: 1 TOILET 1 URINALS 1 SINK WOMEN: 2 TOILET 1 SINK	AMENITYDECKS (A-2): 3,660 SF + 4,390 SF (DECKS) 8,050 / 30 = 268 PEOPLE: 134 MEN + 134 WOMEN MEN: 2 TOILET 1 URINALS 1 SINK WOMEN: 4 TOILET 1 SINK
1ST FLOOR PROVIDED FIXTURES MEN: 3 TOILET 3 URINALS 3 SINK WOMEN: 5 TOILET 3 SINK UNISEX (4) PROVIDED	2ND FLOOR PROVIDED FIXTURES MEN: 4 TOILET 2 URINALS 2 SINK WOMEN: 6 TOILET 2 SINK UNISEX (1) PROVIDED

Exiting Legend

- BS → DIRECTION OF EGRESS WITH NO. OF OCCUPANTS
- B ROOM OCCUPANT CONTENT
- 3975F OCCUPANT CLASSIFICATION
- 1:100 SQUARE FOOTAGE
- 4 OCCUPANT LOAD FACTOR
- NUMBER OF OCCUPANTS
- FEC FE FIRE EXTINGUISHER, CABINET OR POLE MOUNTED VERSION. VERIFY LOCATION WITH FIRE DEPARTMENT BEFORE INSTALLATION.
- CEILING MOUNTED EXIT SIGN: MATCH (E) OR EXITRONIX- ACRYLIC EDGELIT EXIT #5902-R-WB-GM-BA (SINGLE FACE, GREEN/CLEAR LETTERING) BRUSHED ALUM. HOUSING (UNV) 355903-R-WB-GM-BA (DUAL FACE, GREEN/MIRROR LETTERING) BRUSHED ALUM. HOUSING (UNV) OR BETTER. SIGN SHALL BE EQUIPPED WITH BATTERY BACK-UP POWER.
- CEILING MOUNTED EXIT SIGN W/ DIRECTIONAL ARROWS: MATCH (E): EXITRONIX- ACRYLIC EDGELIT EXIT #5902-R-WB-GM-BA (SINGLE FACE, GREEN/CLEAR LETTERING) BRUSHED ALUM. HOUSING (UNV) 355903-R-WB-GM-BA (DUAL FACE, GREEN/MIRROR LETTERING) BRUSHED ALUM. HOUSING (UNV) OR BETTER. SIGN SHALL BE EQUIPPED WITH BATTERY BACK-UP POWER.
- AU AUXILIARY SPACE

Exit Door Width



Exit Stair Widths

EXIT STAIR CALCULATIONS
X = NUMBER OF PEOPLE PERMITTED TO EXIT THROUGH STAIRS PER CBC SECTION 1005.3.1
EXCEPTION #1: FOR BUILDINGS EQUIPPED WITH AN EMERGENCY VOICE ALARM SYSTEM

STAIR 100 = 48' WIDE X=42/2 X= 210 PEOPLE	STAIR 118 = 42' WIDE X=42/2 X= 210 PEOPLE
STAIR 103 = 36' WIDE X=36/2 X= 180 PEOPLE	STAIR 119 = 42' WIDE X=42/2 X= 210 PEOPLE
STAIR 108 = 48' WIDE X=42/2 X= 240 PEOPLE	STAIR 120 = 42' WIDE X=42/2 X= 210 PEOPLE
STAIR 117 = 44' WIDE X=44/2 X= 220 PEOPLE	STAIR 230M = 42' WIDE X=42/2 X= 210 PEOPLE

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COMMERCIAL OFFICE BUILDING for
TECHCON CONSTRUCTION, INC.



Kelly S. Simcox, architect

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REVISIONS

NO.	DATE	DESCRIPTION
	8/14/2019	PLANNING SUBMITTAL
	4/24/2020	BUILDING SUBMITTAL
1	6/5/2020	RESUBMITTAL

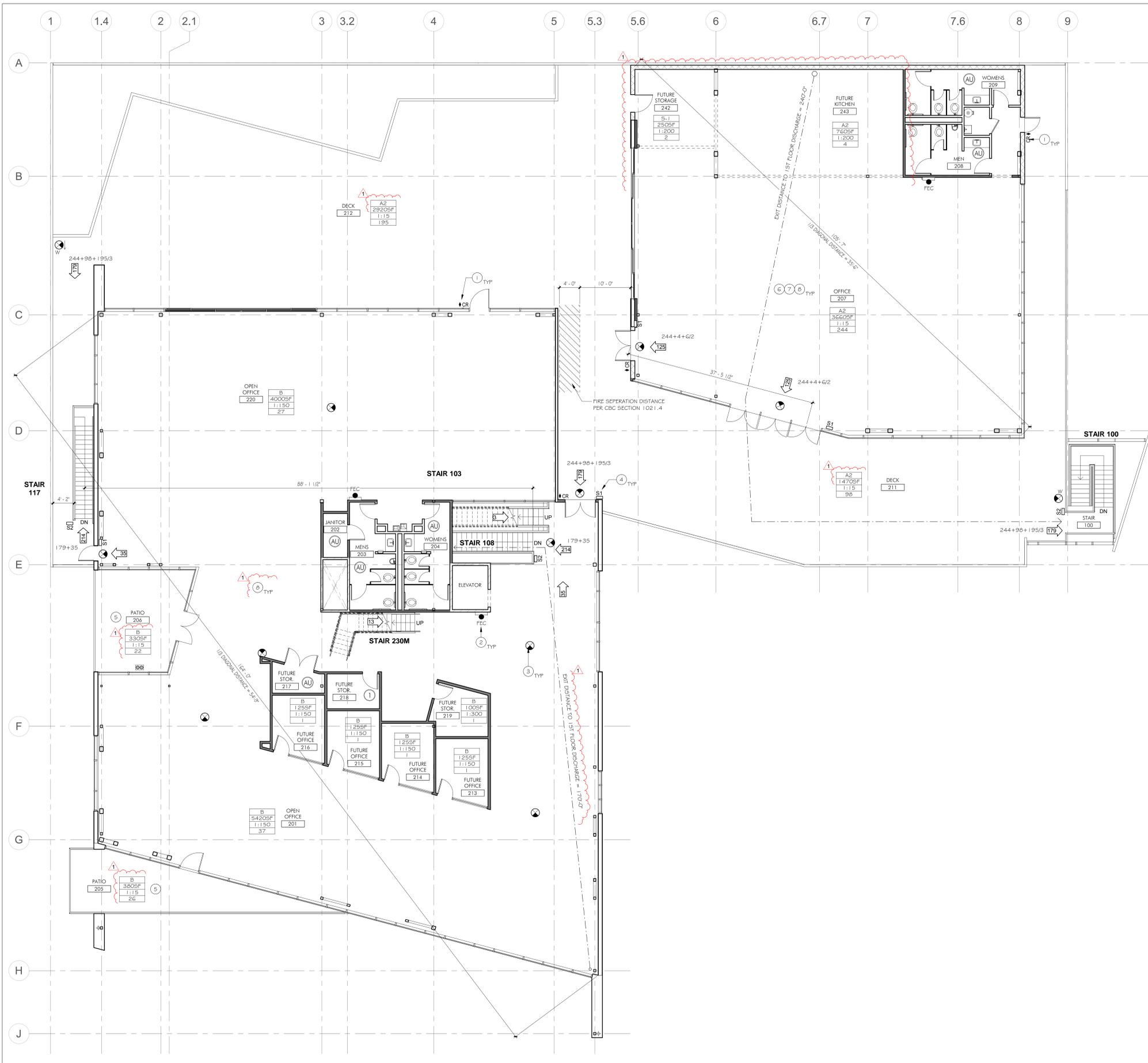
DATE 8/1/2019
SCALE As indicated
PROJECT ID 2019.95
DRAWN BY TB, CW

1ST FLOOR - EXITING PLAN

SHEET TITLE

SHEET NO. **AEx. 1**

6/18/2020 2:38:41 PM



1 2ND FLOOR - EXITING PLAN
1/8" = 1'-0"

Keynotes

Indicated by (X) → on the plans

- (N) CARD READER DEVICE, DEVICE SHALL NOT HINDER USE FOR EGRESS PURPOSES. SEE DOOR SCHEDULE & EXITING PLAN FOR ADDITIONAL INFO.
- (N) SEMI-RECESSED FIRE EXTINGUISHER & CABINET, SEE DETAIL.
- (N) ILLUMINATED EXIT SIGN TO COMPLY WITH CBC SECTION 1013.4. COORDINATE EXACT LOCATION WITH FIRE DEPARTMENT. SEE EXITING LEGEND.
- (N) SURFACE MOUNTED TACTILE EXIT SIGN WITH WHITE LETTERS & CHARCOAL GREY BACKGROUND. PROVIDE WHITE VINYL BACKING IF MOUNTED ON GLASS TO COMPLETELY CONCEAL ADHESIVE. SEE TACTILE EXIT SIGNAGE DETAIL ON 'EX' SHEETS.
- OUTDOOR AREAS TO BE USED BY BUILDING OCCUPANTS ONLY.
- PROVIDE WALL MOUNTED MAXIMUM OCCUPANT LOAD SIGN READING "MAXIMUM OCCUPANCY: #PERSONS" AS PROVIDED ON OCCUPANCY CALCULATION TABLE ON PLAN. COMPLY WITH CBC SECTION 1004.3, LOCATION SHALL BE IN A CONSPICUOUS LOCATION; CONTRACTOR TO COORDINATE WITH THE FIRE DEPT. AND/OR FIRE INSPECTION IN FIELD FOR FINAL INSTALL.
- SPACE TO BE USED BY BUILDING OCCUPANTS ONLY.
- BUILDING TO BE EQUIPPED WITH BOTH AUTOMATIC FIRE SPRINKLER SYSTEM AND EMERGENCY VOICE/ALARM SYSTEM PER CBC SECTION 1005.3.1 AND 1005.3.2. SEE DEFERRED SUBMITTALS.

Plumbing Count

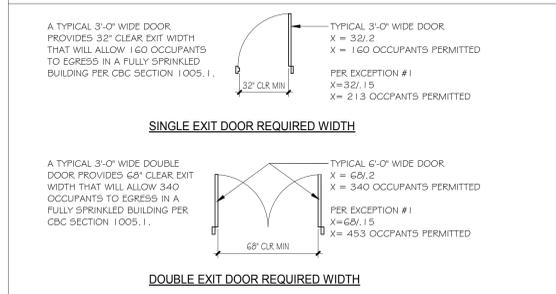
PLUMBING FIXTURES REQUIRED PER CFC TABLE 422.1

1ST FLOOR	2ND FLOOR
FACTORY (F1): 17,800 SF (1ST FLOOR) 17,800 / 2,000 = 9 PEOPLE: 5 MEN & 4 WOMEN MEN: 1 TOILET 0 URINALS 1 SINK WOMEN: 1 TOILET 1 SINK OFFICE (B): 6,850 SF (1ST FLOOR) + 2,930 SF (MEZZ) + 950 SF (PATIOS) 10,780 / 200 = 54 PEOPLE: 27 MEN & 27 WOMEN MEN: 1 TOILET 1 URINALS 1 SINK WOMEN: 2 TOILET 1 SINK 1ST FLOOR PROVIDED FIXTURES MEN: 3 TOILET 3 URINALS 3 SINK WOMEN: 5 TOILET 3 SINK UNISEX (4) PROVIDED	OFFICE (B): 10,240 SF (1ST FLOOR) + 1,620 SF (MEZZ) 11,860 / 200 = 60 PEOPLE: 30 MEN & 30 WOMEN MEN: 1 TOILET 1 URINALS 1 SINK WOMEN: 2 TOILET 1 SINK AMENITYDECKS (A-2): 3,660 SF + 4,390 SF (DECKS) 8,050 / 30 = 268 PEOPLE: 134 MEN & 134 WOMEN MEN: 2 TOILET 1 URINALS 1 SINK WOMEN: 4 TOILET 1 SINK 2ND FLOOR PROVIDED FIXTURES MEN: 4 TOILET 2 URINALS 2 SINK WOMEN: 6 TOILET 2 SINK UNISEX (1) PROVIDED

Exiting Legend

- BS → DIRECTION OF EGRESS WITH NO. OF OCCUPANTS
- B ROOM OCCUPANT CONTENT
- 3975F OCCUPANT CLASSIFICATION
- 1:150 SQUARE FOOTAGE
- 4 OCCUPANT LOAD FACTOR
- NUMBER OF OCCUPANTS
- FEC FE FIRE EXTINGUISHER CABINET OR POLE MOUNTED VERSION. VERIFY LOCATION WITH FIRE DEPARTMENT BEFORE INSTALLATION.
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- CEILING MOUNTED EXIT SIGN W/ DIRECTIONAL ARROWS: MATCH (E) EXITRONIX- ACRYLIC EDGELIT EXIT #5902-R-WB-GM-BA (SINGLE FACE, GREEN/CLEAR LETTERING) BRUSHED ALUM. HOUSING (UNV) 355903-R-WB-GM-BA (DUAL FACE, GREEN/MIRROR LETTERING) BRUSHED ALUM. HOUSING (UNV) OR BETTER. SIGN SHALL BE EQUIPPED WITH BATTERY BACK-UP POWER.
- AU AUXILIARY SPACE

Exit Door Width



Exit Stair Widths

EXIT STAIR CALCULATIONS
X = NUMBER OF PEOPLE PERMITTED TO EXIT THROUGH STAIRS PER CBC SECTION 1005.3.1 EXCEPTION #1: FOR BUILDINGS EQUIPPED WITH AN EMERGENCY VOICE ALARM SYSTEM

STAIR 100 = 48" WIDE X=42/2 X= 240 PEOPLE	STAIR 118 = 42" WIDE X=42/2 X= 210 PEOPLE
STAIR 103 = 36" WIDE X=36/2 X= 180 PEOPLE	STAIR 119 = 42" WIDE X=42/2 X= 210 PEOPLE
STAIR 108 = 48" WIDE X=42/2 X= 240 PEOPLE	STAIR 120 = 42" WIDE X=42/2 X= 210 PEOPLE
STAIR 117 = 44" WIDE X=44/2 X= 220 PEOPLE	STAIR 230M = 42" WIDE X=42/2 X= 210 PEOPLE

PROJECT ADDRESS
480 COCHRANE CIRCLE
MORGAN HILL, CA

COMMERCIAL OFFICE BUILDING for
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REVISIONS

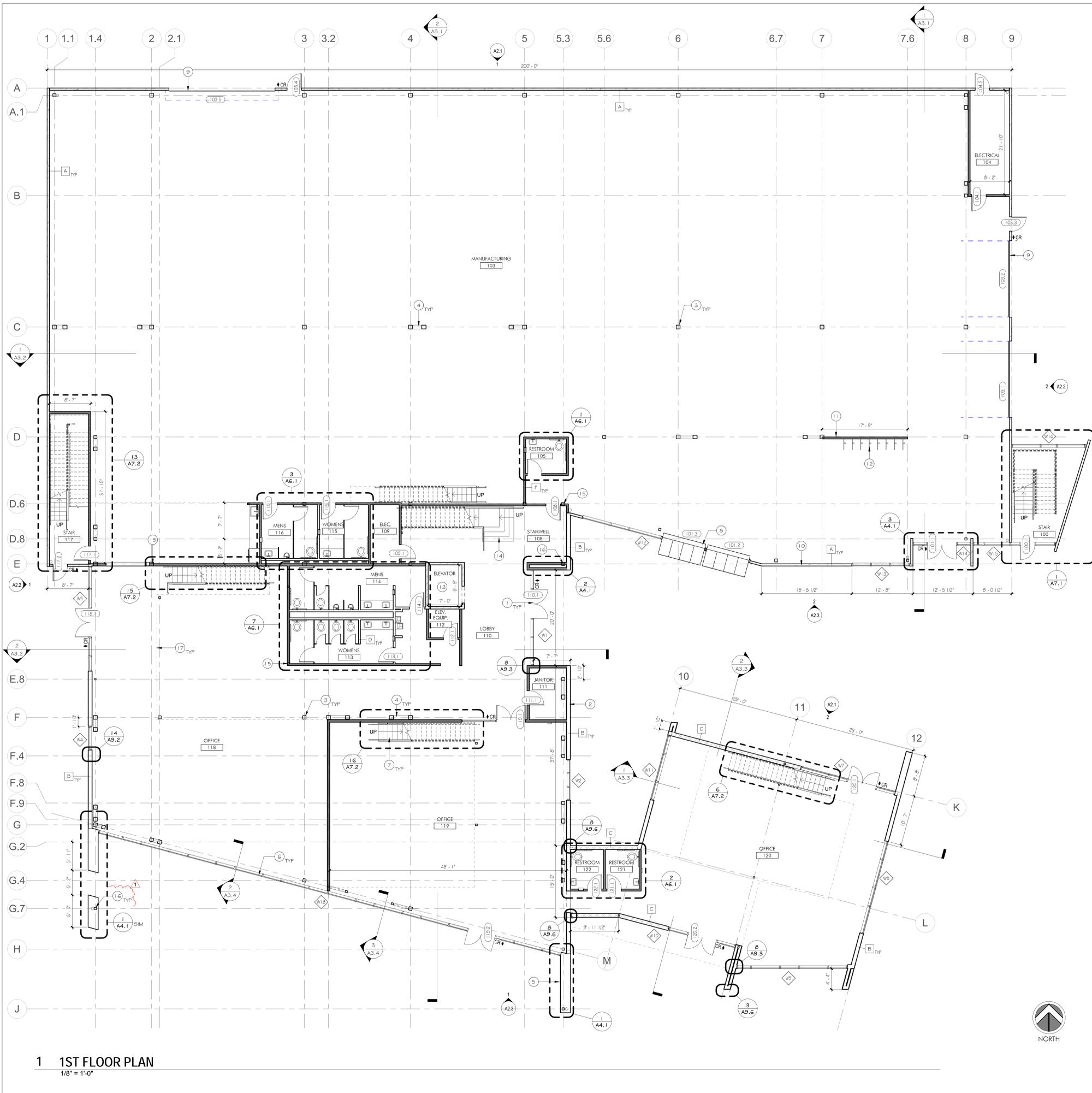
NO.	DATE	DESCRIPTION
1	6/5/2020	RESUBMITTAL

DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
DRAWN BY	TB, CW

2ND FLOOR - EXITING PLAN

SHEET TITLE

SHEET NO. **AEx.3**



1 1ST FLOOR PLAN
1/8" = 1'-0"

- Keynotes** Indicated by (X) → on the plans
- 1 (N) STOREFRONT DOOR + WINDOW SYSTEM. SEE DOOR + WINDOW SCHEDULE.
 - 2 (N) STANDING SEAM METAL CLAD EXTERIOR WALL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - 3 (N) COLUMN S.S.D.
 - 4 (N) BRACE FRAME S.S.D.
 - 5 (N) WOOD CLAD EXTERIOR WALL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - 6 (N) EXTERIOR CURTAIN WALL SYSTEM. SEE WINDOW ELEVATIONS.
 - 7 (N) STEEL STAIR WITH CONCRETE TREADS.
 - 8 (N) AIR CRAFT HANGER DOORS. SEE DOOR SCHEDULE.
 - 9 (N) ROLL UP DOOR. SEE DOOR SCHEDULE.
 - 10 (N) CONCRETE TILT UP WALL. S.S.D.
 - 11 (N) INTERIOR WALL. SEE WALL LEGEND.
 - 12 (B) WALL MOUNTED BIKE RACKS.
 - 13 (N) ELEVATOR.
 - 14 (N) STEEL STAIR WITH WOOD TREADS.
 - 15 ENCASE COLUMN WITHIN WALL. TYP. U.O.N. PROVIDE MIN. (1) LAYER 5/8" GYP. BD. VERIFY ANY DISCREPANCIES WITH ARCHITECT PRIOR TO CONSTRUCTION.
 - 16 STRUCTURAL COLUMNS ENCASED IN EXTERIOR LOAD BEARING WALLS TO HAVE A FIRE RESISTANCE RATING OF 2 HOURS PER CBC 704.1.0 + TABLE 601.
 - 17 DASHED LINE INDICATED FLOOR ABOVE.

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	8/14/2019	PLANNING SUBMITTAL
	4/24/2020	BUILDING SUBMITTAL
1	6/5/2020	RESUBMITTAL

- Legend**
- TYPE A: EXTERIOR CONCRETE TILT UP WALL. SEE STRUCTURAL DRAWINGS.
 - TYPE B: EXTERIOR STANDING SEAM WALL WITH INTERIOR WOOD FINISH. SEE SECTIONS AND DETAIL 1/A9.1. 2 HOUR FIRE RATED.
 - TYPE B.1: EXTERIOR STANDING SEAM WALL WITH INTERIOR GYP. BD. FINISH. SEE SECTIONS AND DETAIL 1/A9.1. 2 HOUR FIRE RATED.
 - TYPE C: EXTERIOR FLAT METAL WALL FINISH WITH INTERIOR GYP. BD. FINISH. SEE SECTIONS AND DETAILS. 2/A9.1
 - TYPE D: INTERIOR CEILING HEIGHT WALL: 2x4 WOOD STUDS WITH 5/8" GYP. BD. ON BOTH SIDES. PROVIDE SOUND ATTENUATION BATT INSULATION.
 - TYPE E: INTERIOR FULL HEIGHT WALL: 2x WOOD STUDS WITH 5/8" GYP. BD. ON BOTH SIDES TO UNDERSIDE OF STRUCTURE. PROVIDE SOUND ATTENUATION BATT INSULATION. SEE S.S.D.
 - TYPE G: 1 HOUR RATED SHAFT WALL. SEE DETAIL 1/QA9.1.
 - (10) DOOR TAG. SEE DOOR SCHEDULE.
 - (W) WINDOW TAG. SEE WINDOW SCHEDULE.
 - CR# CARD READER. DOES NOT HINDER EGRESS IN ANY WAY.

DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
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1ST FLOOR PLAN

SHEET TITLE

SHEET NO. **A1.1**

6/18/2020 2:32:19 PM



Kelly S. Simcox, architect

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REVISIONS

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	4/24/2020	BUILDING SUBMITTAL
1	6/5/2020	RESUBMITTAL

DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
DRAWN BY	TB, CW

MEZZANINE 1 PLAN

SHEET TITLE

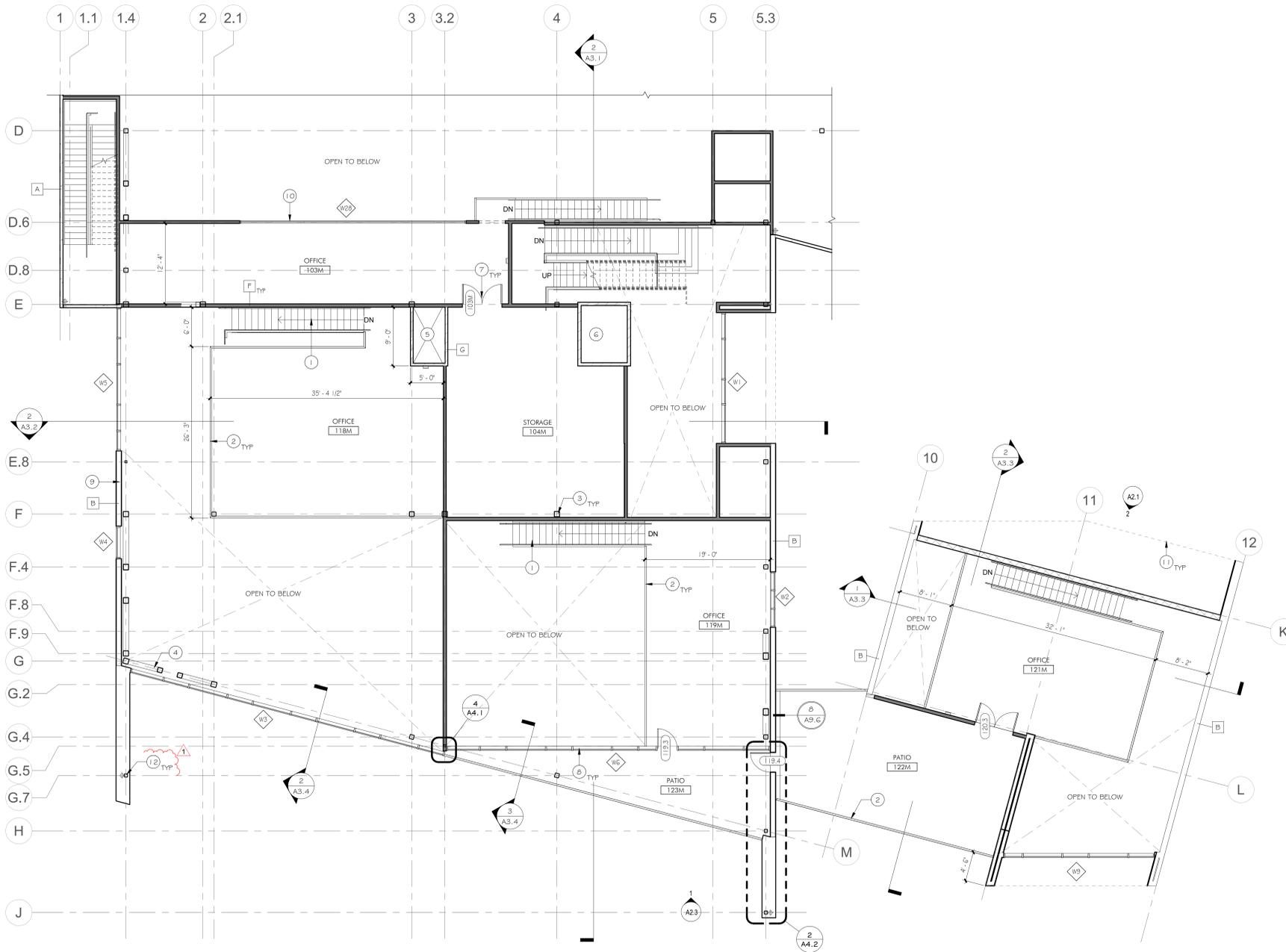
SHEET NO.

A1.2

6/18/2020 2:32:24 PM

Keynotes Indicated by (X) → on the plans

- 1 (N) STEEL STAIR WITH CONCRETE TREADS.
- 2 (N) GUARDRAIL SYSTEM.
- 3 (N) COLUMN 5.5.D.
- 4 (N) BRACE FRAME 5.5.D.
- 5 (N) 1 HR. RATED MECHANICAL SHAFT.
- 6 (N) ELEVATOR.
- 7 (N) DOOR, SEE DOOR SCHEDULE.
- 8 (N) EXTERIOR CURTAIN WALL SYSTEM. SEE WINDOW ELEVATIONS.
- 9 (N) STANDING SEAM METAL CLAD EXTERIOR WALL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 10 (N) INTERIOR CLEAR GLAZING SYSTEM. SEE WINDOW ELEVATIONS.
- 11 DASHED LINE INDICATED ROOF ABOVE.
- 12 STRUCTURAL COLUMN ENCASED IN EXTERIOR LOAD BEARING WALLS TO HAVE A FIRE RESISTANCE RATING OF 2 HOURS PER CBC 704.10.4 TABLE 601.

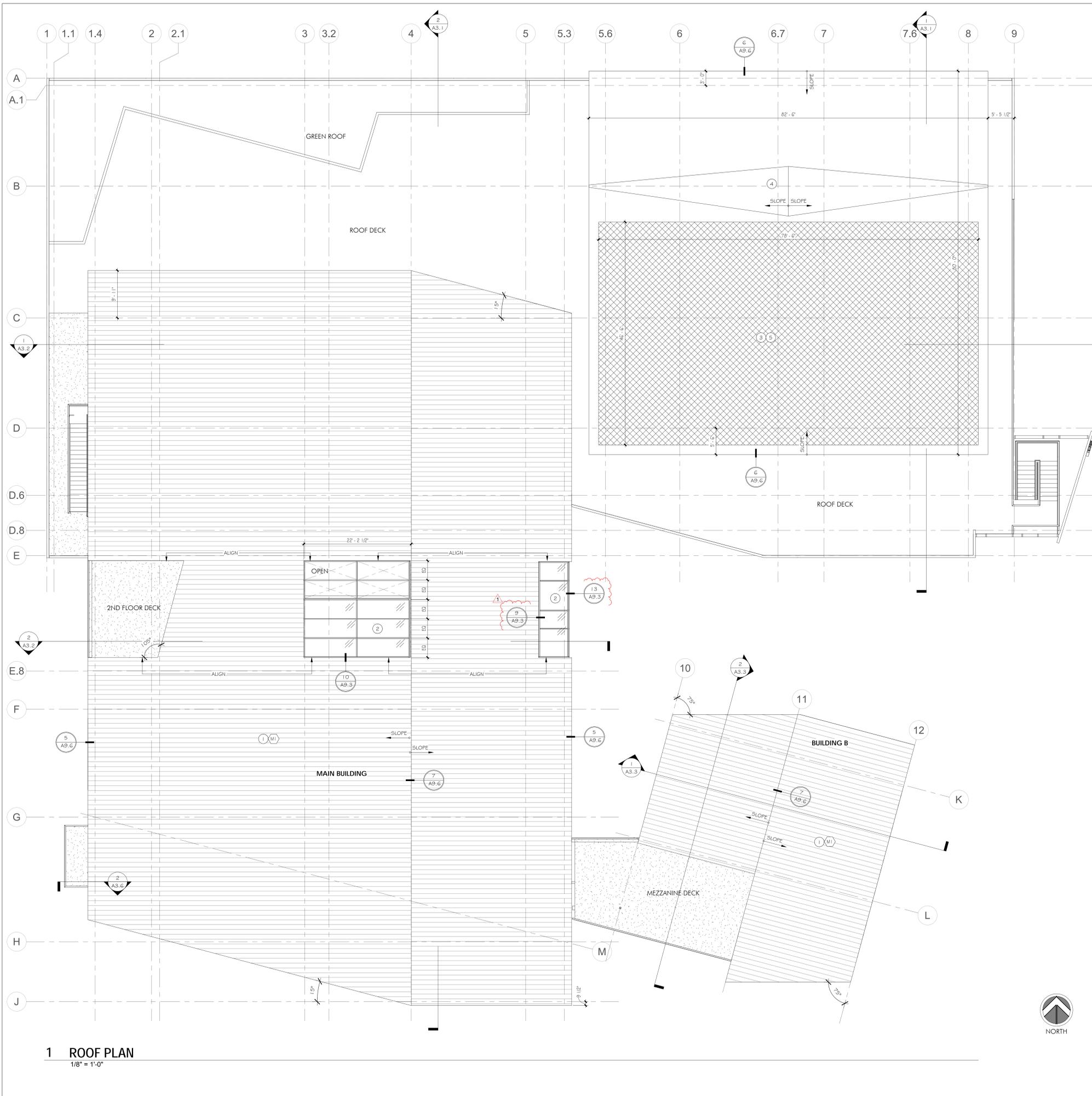


1 MEZZANINE 1 PLAN
1/8" = 1'-0"

Legend

- TYPE A: EXTERIOR CONCRETE TILT UP WALL. SEE STRUCTURAL DRAWINGS.
- TYPE B: EXTERIOR STANDING SEAM WALL WITH INTERIOR WOOD FINISH. SEE SECTIONS AND DETAIL 1/A9.1, 2 HOUR FIRE RATED
- TYPE B.1: EXTERIOR STANDING SEAM WALL WITH INTERIOR GYP. BD. FINISH. SEE SECTIONS AND DETAIL 1/A9.1, 2 HOUR FIRE RATED
- TYPE C: EXTERIOR FLAT METAL WALL FINISH WITH INTERIOR GYP. BD. FINISH. SEE SECTIONS AND DETAILS, 2/A9.1
- TYPE D: INTERIOR CEILING HEIGHT WALL: 2x4 WOOD STUDS WITH 5/8" GYP. BD. ON BOTH SIDES. PROVIDE SOUND ATTENUATION BATT INSULATION.
- TYPE F: INTERIOR FULL HEIGHT WALL: 2x WOOD STUDS WITH 5/8" GYP. BD. ON BOTH SIDE TO UNDERSIDE OF STRUCTURE. PROVIDE SOUND ATTENUATION BATT INSULATION. SEE 5.5.D.
- TYPE G: 1 HOUR RATED SHAFT WALL. SEE DETAIL 1/QA9.1.
- (10) DOOR TAG. SEE DOOR SCHEDULE.
- (W) WINDOW TAG. SEE WINDOW SCHEDULE.
- (CR) CARD READER. DOES NOT HINDER EGRESS IN ANY WAY.





1 ROOF PLAN
1/8" = 1'-0"

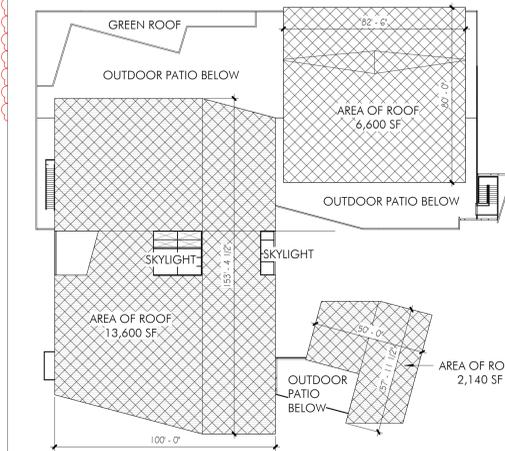
Keynotes Indicated by (x) → on the plans

- 1 (N) STANDING SEAM METAL ROOF SYSTEM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 2 (N) SLOPPED GLAZING SYSTEM. SEE DETAILS.
- 3 (N) TPO ROOFING SYSTEM.
- 4 (N) ROOF CRICKET OVER RIGID INSULATION OR FRAMING AS REQUIRED.
- 5 ROOF TO BE USED FOR SOLAR PANELS (SHOWN HATCHED). SEE STRUCTURAL DWGS. FOR ADDED LOAD. TO BE A DEFERRED SUBMITTAL.

Solar Ready Calculations

SOLAR ZONE TO COMPLY WITH CALIFORNIA ENERGY CODE SECTION 110.10. SEE SOLAR READY AREA ON A0.5

	AREA OF ROOF	15% OF AREA
MAIN BUILDING	13,600 SF	2,040 SF
AMENITY BUILDING	6,600 SF	990 SF
BUILDING B	2,140 SF	321 SF
TOTAL SOLAR REQUIRED		3,351 SF
SOLAR AREA PROVIDED		3,650 SF



2 ROOF PLAN - AREA FOR SOLAR
1/32" = 1'-0"



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REVISIONS

NO.	DATE	DESCRIPTION
	8/14/2019	PLANNING SUBMITTAL
	4/24/2020	BUILDING SUBMITTAL
1	6/5/2020	RESUBMITTAL

DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
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ROOF PLAN

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Kelly S. Simcox, architect

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REVISIONS

NO.	DATE	DESCRIPTION
1	4/24/2020	BUILDING SUBMITTAL

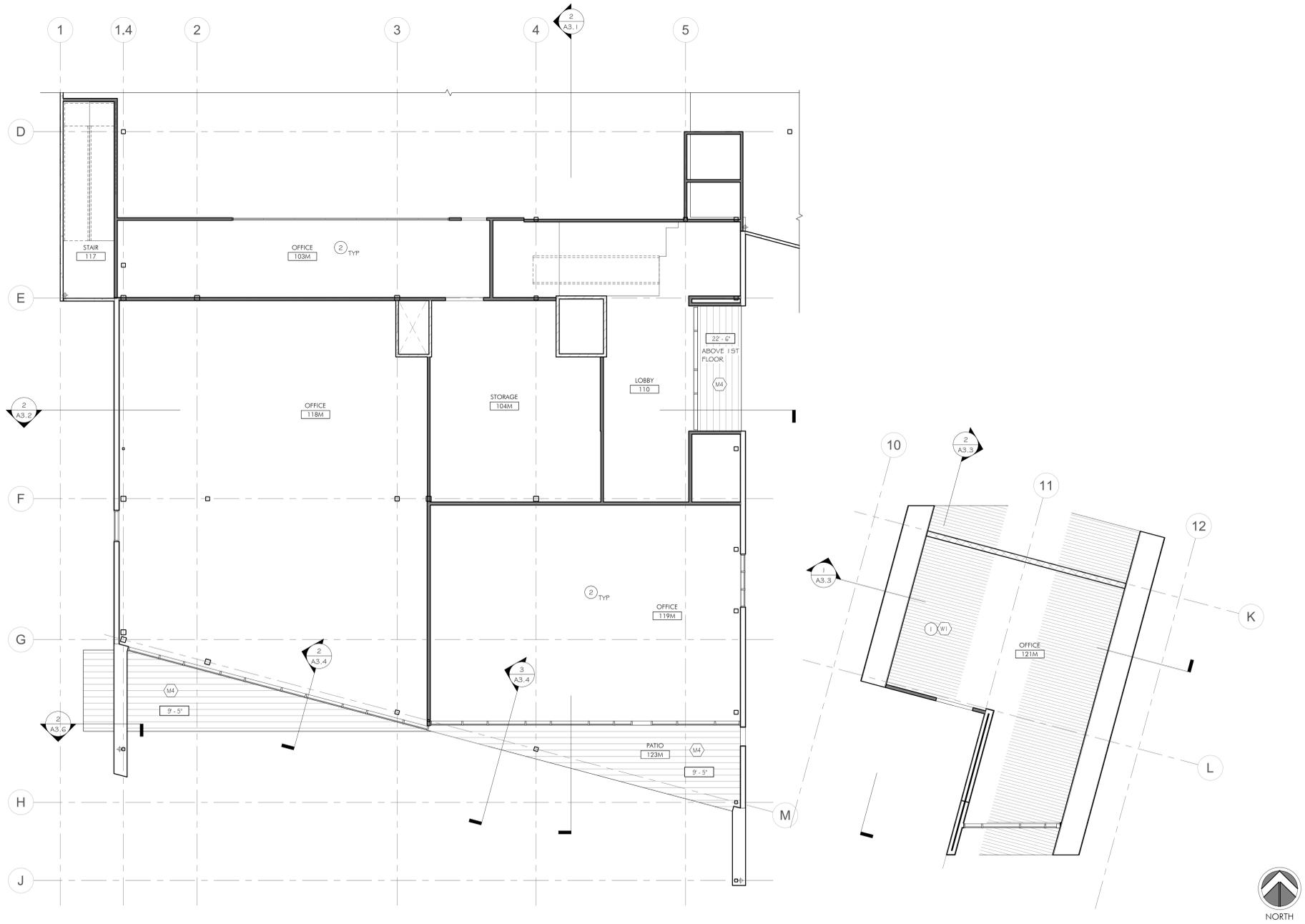
DATE 8/1/2019
 SCALE 1/8" = 1'-0"
 PROJECT ID 2019.95
 DRAWN BY TB, CW

MEZZANINE 1 RCP

SHEET TITLE
 SHEET NO. **A1.7**
 6/18/2020 2:32:56 PM

Keynotes Indicated by (x) → on the plans

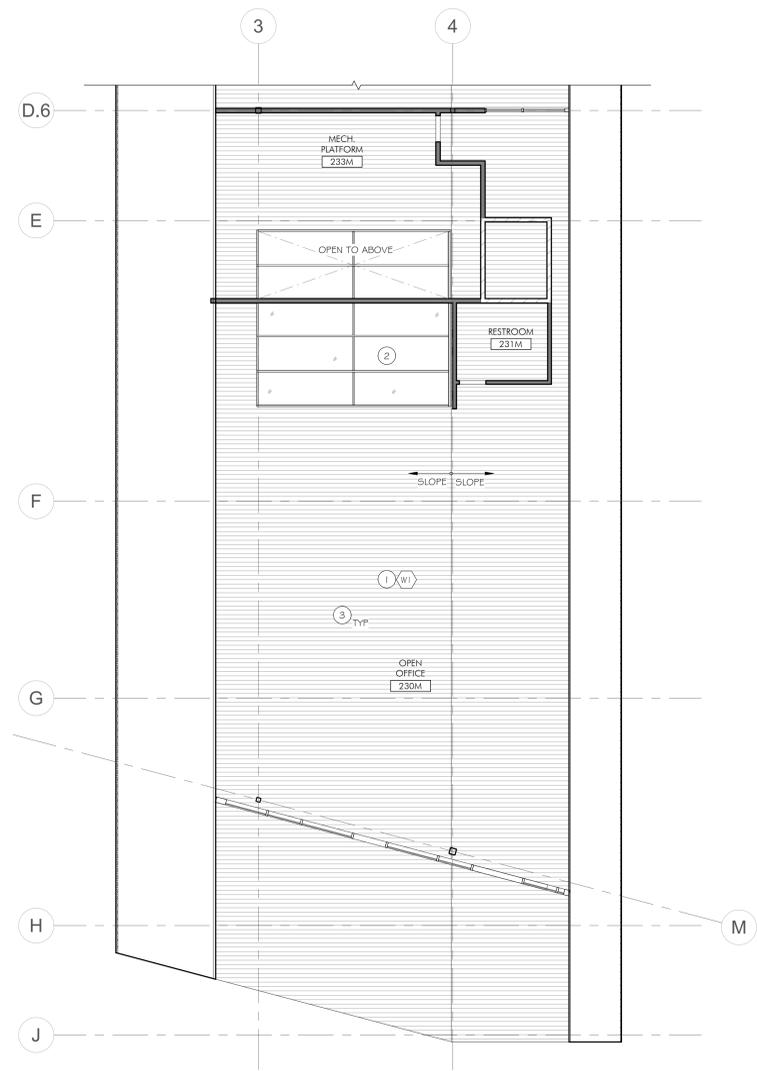
- COORDINATE INSTALLATION OF INTERIOR WOOD WALL/ROOF FINISH AFTER ALL INFRASTRUCTURE HAS BEEN PUT INTO THE WALLS TO MINIMIZE DAMAGE.
- SEE ELECTRICAL DRAWINGS FOR ALL LIGHTS.



1 MEZZANINE 1 - RCP
 1/8" = 1'-0"

Ceiling Legend

- GYPSUM BOARD CEILING, SMOOTH LEVEL 4 FINISH
- TYPE A: FACTORY HIGH BAY LIGHT
 ILF - RB3
 RB3-25U-U-40-AD22-CORDNGFT
- TYPE B: RESTROOM DOWNLIGHT
 COOPER HALO
 H457TATED10-EL406-9-35-TL402WH5



1 MEZZANINE 2 - RCP
1/8" = 1'-0"

Keynotes Indicated by (X) → on the plans

- 1 COORDINATE INSTALLATION OF INTERIOR WOOD WALL/ROOF FINISH AFTER ALL INFRASTRUCTURE HAS BEEN PUT INTO THE WALLS TO MINIMIZE DAMAGE.
- 2 (N) SLOPED GLAZING SYSTEM. SEE DETAILS.
- 3 SEE ELECTRICAL DRAWINGS FOR ALL LIGHTS.

Ceiling Legend

- GYPSUM BOARD CEILING, SMOOTH LEVEL 4 FINISH
- TYPE A: FACTORY HIGH BAY LIGHT
ILF - RB3
RB3-25L-U-40-AD22-CORDIGFT
- TYPE B: RESTROOM DOWNLIGHT
COOPER HALO
H457TATEO1 O-EL40G-9-35-TL402WH5

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T:408.263.0100



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REVISIONS

NO.	DATE	DESCRIPTION
	4/24/2020	BUILDING SUBMITTAL

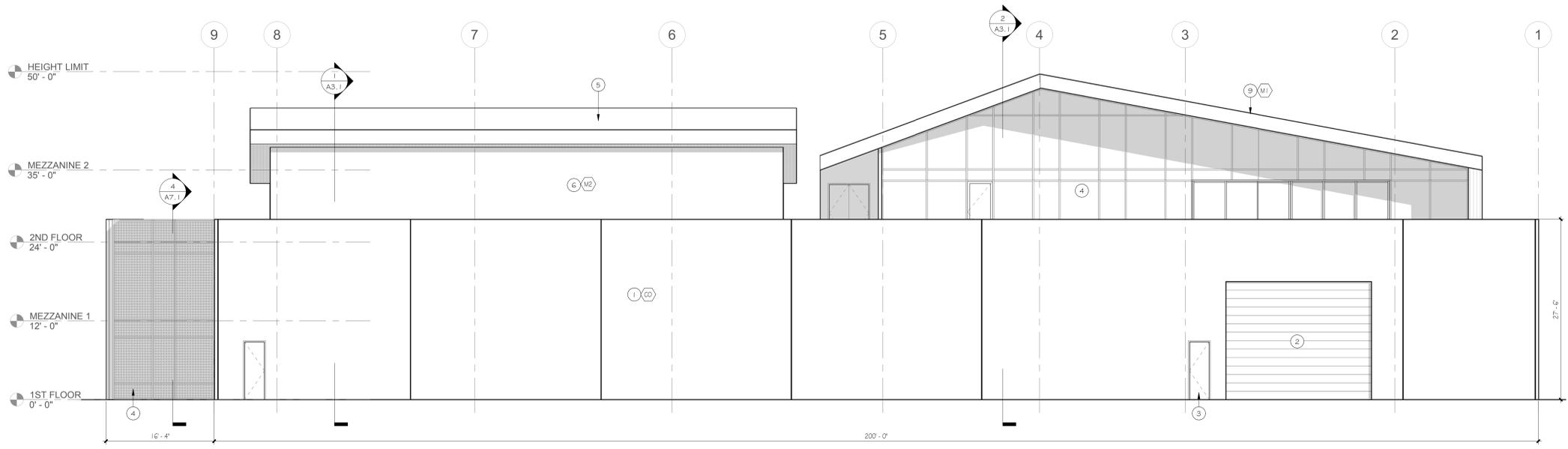
DATE 8/1/2019
SCALE 1/8" = 1'-0"
PROJECT ID 2019.95
DRAWN BY TB, CW

MEZZANINE 2 RCP

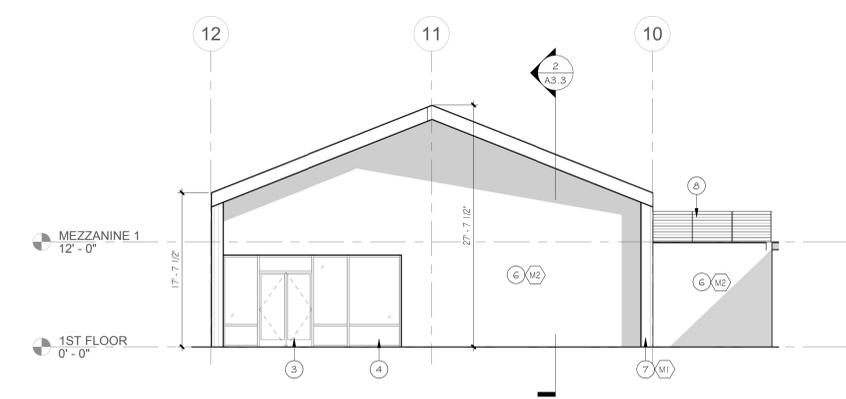
SHEET TITLE

SHEET NO. **A1.9**

6/18/2020 2:33:06 PM



1 NORTH ELEVATION
1/8" = 1'-0"



2 NORTH SUBLET ELEVATION
1/8" = 1'-0"

Keynotes

Indicated by (x) → on the plans

- 1 (N) CONCRETE TILT UP WALL. S.S.D.
- 2 (N) ROLL UP DOOR. SEE DOOR SCHEDULE.
- 3 (N) DOOR. SEE DOOR SCHEDULE.
- 4 (N) EXTERIOR CURTAIN WALL SYSTEM. SEE WINDOW ELEVATIONS.
- 5 (N) TPO ROOFING SYSTEM.
- 6 (N) METAL CLAD EXTERIOR WALL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 7 (N) STANDING SEAM METAL CLAD EXTERIOR WALL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 8 (N) GUARDRAIL SYSTEM.
- 9 (N) STANDING SEAM METAL ROOF SYSTEM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

Finish Legend

EXTERIOR	INTERIOR
(M1) METAL #1 - STANDING SEAM MFR: TBD SIZE: TBD COLOR: TBD	(F1) PAINT #1 - GENERAL MFR: TBD COLOR: TBD TYPE: EGGSHELL
(M2) METAL #2 - FLAT MFR: TBD SIZE: TBD COLOR: TBD	(T1) TILE #1 - RR FLOOR MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(M3) METAL #3 - COMPOSITE MFR: TBD SIZE: TBD COLOR: TBD	(T2) TILE #2 - RR WALL MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(M4) METAL #4 - FLUSH SEAM MFR: TBD SIZE: TBD COLOR: TBD	(T3) TILE #3 - RR ACCENT MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(W1) WOOD #1 MFR: TBD SIZE: TBD COLOR: NATURAL	(SS1) SOLID SURFACE #1 MFR: TBD COLOR: TBD SIZE: 2MM
(CO) CONCRETE #1 BOARD FORM CONCRETE	(PL1) PLASTIC LAMINATE #1 MFR: TBD COLOR: TBD FINISH: TBD



Kelly S. Simcox, architect

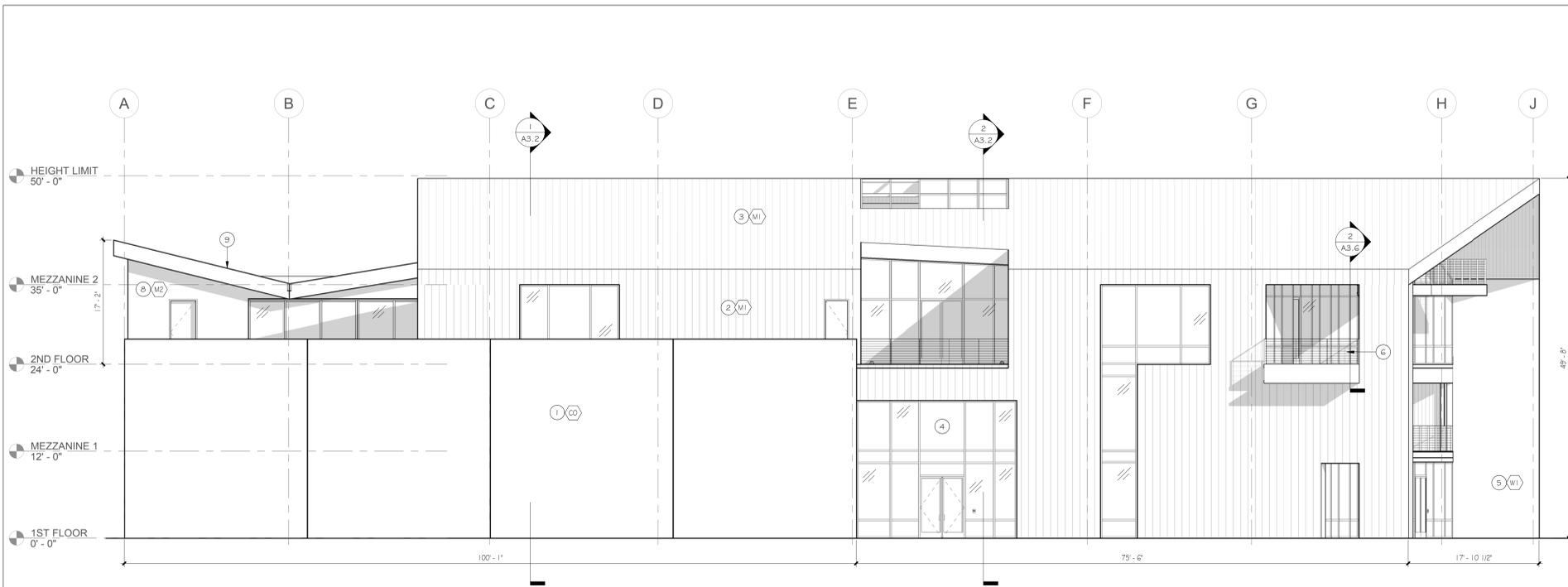
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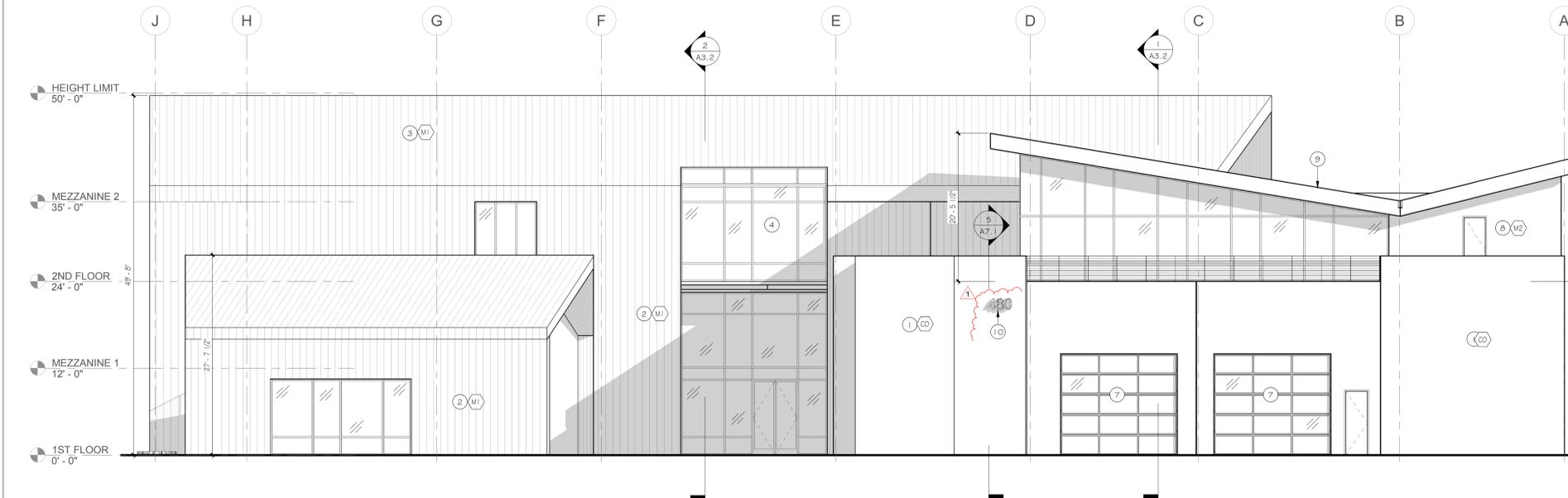
REVISIONS

NO.	DATE	DESCRIPTION
	4/24/2020	BUILDING SUBMITTAL

DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
DRAWN BY	TB, CW



1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

Keynotes

Indicated by (X) → on the plans

- 1 (N) CONCRETE TILT UP WALL, 5.5.D.
- 2 (N) STANDING SEAM METAL CLAD EXTERIOR WALL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 3 (N) STANDING SEAM METAL ROOF SYSTEM, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 4 (N) EXTERIOR CURTAIN WALL SYSTEM, SEE WINDOW ELEVATIONS.
- 5 (N) WOOD CLAD EXTERIOR WALL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 6 (N) GUARDRAIL SYSTEM.
- 7 (N) ROLL UP DOOR, SEE DOOR SCHEDULE.
- 8 (N) METAL CLAD EXTERIOR WALL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 9 (N) TPO ROOFING SYSTEM.
- 10 18" TALL BUILDING ADDRESS NUMBERS, PIN MOUNTED AND BACK LIT.

Finish Legend

EXTERIOR		INTERIOR	
(M1)	METAL #1 - STANDING SEAM MFR: TBD SIZE: TBD COLOR: TBD	(F1)	PAINT #1 - GENERAL MFR: TBD COLOR: TBD TYPE: EGGSHELL
(M2)	METAL #2 - FLAT MFR: TBD SIZE: TBD COLOR: TBD	(T1)	TILE #1 - RR FLOOR MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(M3)	METAL #3 - COMPOSITE MFR: TBD SIZE: TBD COLOR: TBD	(T2)	TILE #2 - RR WALL MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(M4)	METAL #4 - FLUSH SEAM MFR: TBD SIZE: TBD COLOR: TBD	(T3)	TILE #3 - RR ACCENT MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(W1)	WOOD #1 MFR: TBD SIZE: TBD COLOR: NATURAL	(SS1)	SOLID SURFACE #1 MFR: TBD COLOR: TBD SIZE: 2MM
(CO)	CONCRETE #1 BOARD FORM CONCRETE	(PL1)	PLASTIC LAMINATE #1 MFR: TBD COLOR: TBD FINISH: TBD

299 BASSETT ST., SUITE 250
SAN JOSE, CA 95110
1-408-263-0100



PROJECT ADDRESS
480 COCHRANE CIRCLE
MORGAN HILL, CA

COMMERCIAL OFFICE BUILDING for
**TECHCON
CONSTRUCTION, INC.**



Kelly S. Simcox, architect

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REVISIONS

NO.	DATE	DESCRIPTION
	8/14/2019	PLANNING SUBMITTAL
	4/24/2020	BUILDING SUBMITTAL
1	6/5/2020	RESUBMITTAL

DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
DRAWN BY	TB, CW

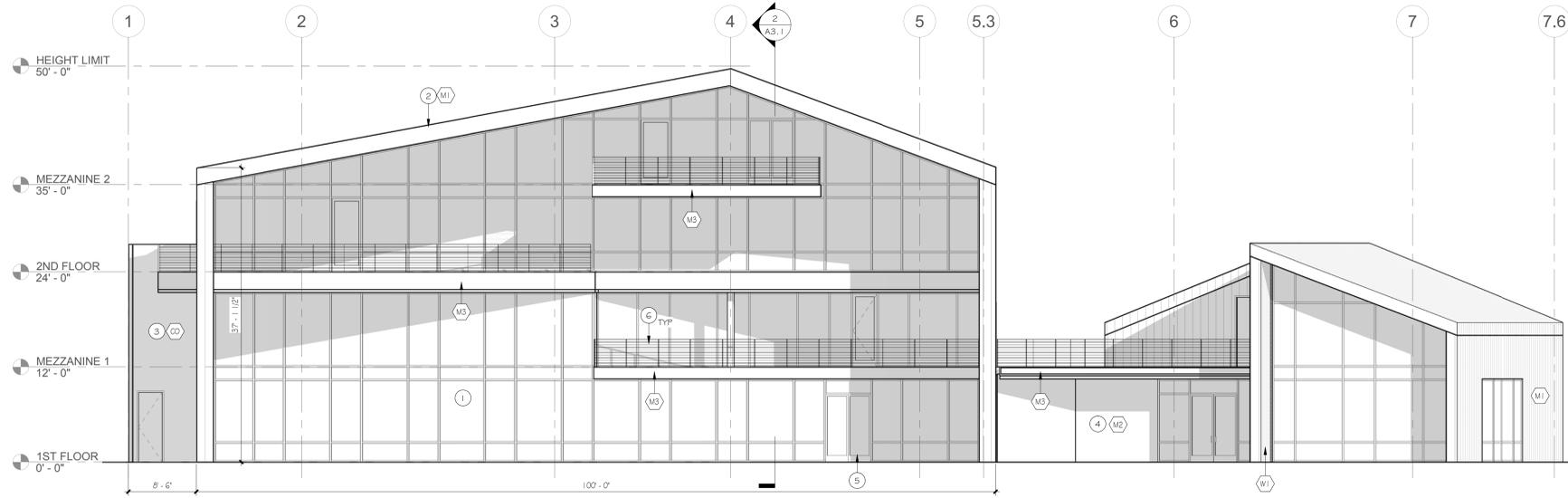
EXTERIOR ELEVATIONS

SHEET TITLE

SHEET NO.

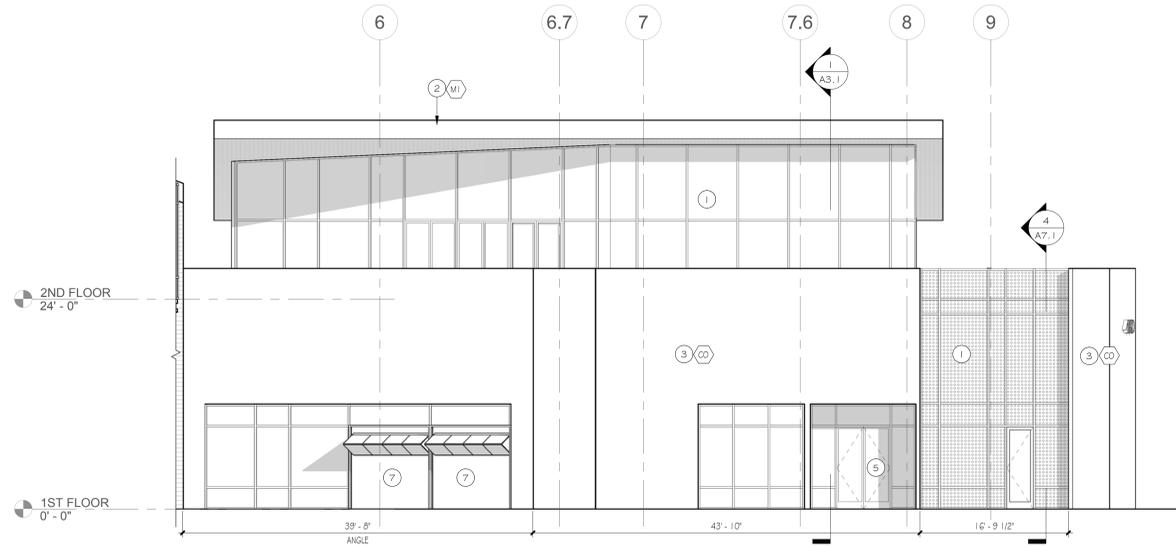
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1 SOUTH ELEVATION

1/8" = 1'-0"



2 SOUTH INTERIOR ELEVATION

1/8" = 1'-0"

Keynotes

Indicated by (X) → on the plans

- 1 (N) EXTERIOR CURTAIN WALL SYSTEM. SEE WINDOW ELEVATIONS.
- 2 (N) STANDING SEAM METAL ROOF SYSTEM. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 3 (N) CONCRETE TILT UP WALL. S.S.D.
- 4 (N) METAL CLAD EXTERIOR WALL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 5 (N) DOOR. SEE DOOR SCHEDULE.
- 6 (N) GUARDRAIL SYSTEM.
- 7 (N) AIR CRAFT HANGER DOORS. SEE DOOR SCHEDULE.

Finish Legend

EXTERIOR		INTERIOR	
(M1)	METAL #1 - STANDING SEAM MFR: TBD SIZE: TBD COLOR: TBD	(F1)	PAINT #1 - GENERAL MFR: TBD COLOR: TBD TYPE: EGGSHELL
(M2)	METAL #2 - FLAT MFR: TBD SIZE: TBD COLOR: TBD	(T1)	TILE #1 - RR FLOOR MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(M3)	METAL #3 - COMPOSITE MFR: TBD SIZE: TBD COLOR: TBD	(T2)	TILE #2 - RR WALL MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(M4)	METAL #4 - FLUSH SEAM MFR: TBD SIZE: TBD COLOR: TBD	(T3)	TILE #3 - RR ACCENT MFR: TBD SIZE: TBD COLOR: TBD GROUT: TBD
(W1)	WOOD #1 MFR: TBD SIZE: TBD COLOR: NATURAL	(SS)	SOLID SURFACE #1 MFR: TBD COLOR: TBD SIZE: 2MM
(CO)	CONCRETE #1 BOARD FORM CONCRETE	(PL)	PLASTIC LAMINATE #1 MFR: TBD COLOR: TBD FINISH: TBD

299 BASSETT ST., SUITE 250
SAN JOSE, CA 95110
T: 408.263.0100



PROJECT ADDRESS

480 COCHRANE CIRCLE
MORGAN HILL, CA

COMMERCIAL OFFICE BUILDING for
**TECHCON
CONSTRUCTION, INC.**



Kelly S. Simcox, architect

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REVISIONS

NO.	DATE	DESCRIPTION
	8/14/2019	PLANNING SUBMITTAL
	4/24/2020	BUILDING SUBMITTAL

DATE	8/1/2019
SCALE	As indicated
PROJECT ID	2019.95
DRAWN BY	TB, CW

EXTERIOR ELEVATIONS

SHEET TITLE

SHEET NO.

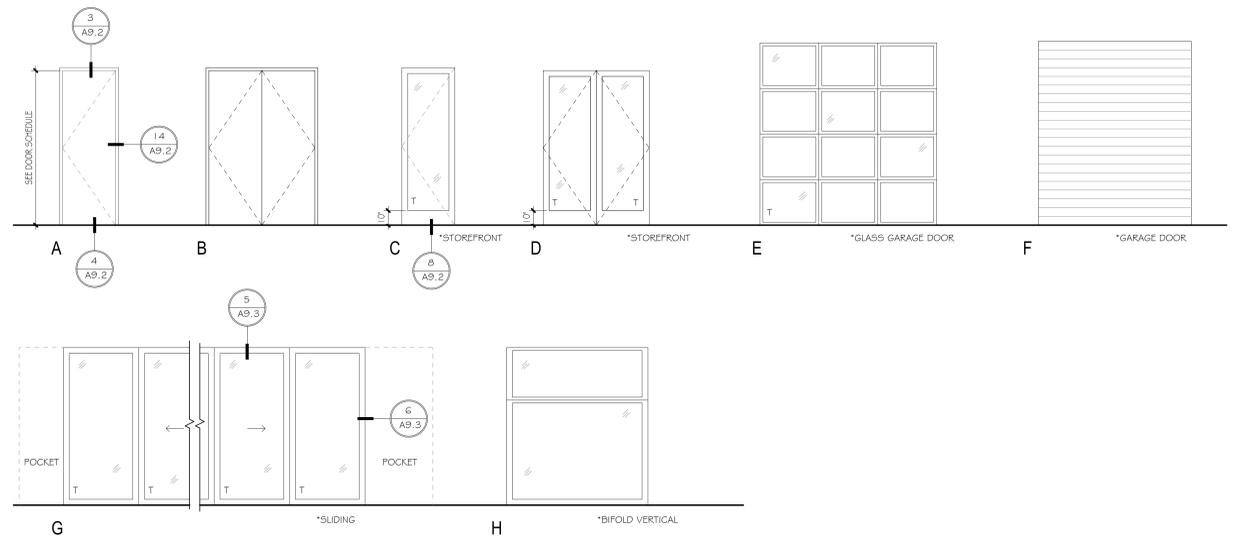
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Door Schedule

DOOR	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	LEVEL	TYPE	DOOR THICKNESS	DOOR HARDWARE	MATERIAL	DOOR FINISH	SIDELITE/ GLAZING	FRAME MATERIAL	FRAME FINISH	RATING	REMARKS
100.1	STAIR 100	3'-0"	9'-4 3/4"	1ST FLOOR	C	0'-0 1/2"	HW-1	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
101.1	FACTORY LOBBY	6'-0"	9'-4 3/4"	1ST FLOOR	H	0'-0 1/2"	HW-2	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
101.2	MANUFACTURING	9'-2"	9'-5"	1ST FLOOR	H	0'-0 1/2"								
101.3	MANUFACTURING	9'-2"	9'-5"	1ST FLOOR	H	0'-0 1/2"								
103.1	MANUFACTURING	10'-0"	14'-0"	1ST FLOOR	E	0'-1 3/4"								
103.2	MANUFACTURING	10'-0"	14'-0"	1ST FLOOR	E	0'-1 3/4"								
103.3	MANUFACTURING	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-3	METAL	PAINT	-	METAL	PAINT	NA	
103.4	MANUFACTURING	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-3	S.C. WOOD	PAINT	-	METAL	PAINT	NA	
103.5	MANUFACTURING	22'-0"	18'-0"	1ST FLOOR	F	0'-3"								
103M	STORAGE	6'-0"	8'-10"	MEZZANINE 1	B	0'-1 3/4"	HW-4	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
104.1	ELECTRICAL	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-3	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
104.2	ELECTRICAL	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-3	METAL	PAINT	-	METAL	PAINT	NA	
105.1	RESTROOM	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-9	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
108.1	STAIR 108	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-5	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
109.1	ELECTRICAL	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-3	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
110.1	LOBBY	6'-0"	10'-3 5/8"	1ST FLOOR	D	0'-0 1/2"	HW-2	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
111.1	JANITOR	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-3	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
112.1	ELEV. EQUIP.	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-3	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
113.1	WOMENS RR	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-7	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
114.1	MENS RR	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-7	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
115.1	WOMENS RR	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-7	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
116.1	MENS RR	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-7	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
117.1	STAIR 117	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-5	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
117.2	STAIR 117	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-5	METAL	PAINT	-	METAL	PAINT	NA	
118.1	OFFICE	6'-0"	8'-6"	1ST FLOOR	D	0'-0 1/2"	HW-2	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
119.1	OFFICE	6'-0"	8'-10"	1ST FLOOR	B	0'-1 3/4"								
119.2	OFFICE	5'-9 1/2"	8'-6"	1ST FLOOR	D	0'-0 1/2"								
119.3	OFFICE	3'-0"	9'-2 1/2"	MEZZANINE 1	C	0'-0 1/2"								
119.4	BALCONY	3'-0"	8'-0"	MEZZANINE 1	A	0'-1 3/4"								
120.1	OFFICE	6'-0"	8'-6"	1ST FLOOR	D	0'-0 1/2"	HW-1	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
120.2	OFFICE	6'-0"	8'-6"	1ST FLOOR	D	0'-0 1/2"	HW-1	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
120.3	OFFICE	6'-0"	8'-10"	MEZZANINE 1	B	0'-1 3/4"								
121.1	RESTROOM	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-8	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
122.1	RESTROOM	3'-0"	8'-10"	1ST FLOOR	A	0'-1 3/4"	HW-8	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
201.1	OFFICE	6'-0"	8'-10"	2ND FLOOR	B	0'-1 3/4"								
202.1	JANITOR	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"								
203.1	MENS RR	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"	HW-7	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
204.1	WOMENS RR	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"	HW-7	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
205.1	BALCONY	3'-9 1/2"	9'-3 1/2"	1ST FLOOR	C	0'-0 1/2"								
206.1	BALCONY	6'-0"	8'-10 3/4"	2ND FLOOR	D	0'-0 1/2"								
207.1	OFFICE	6'-0"	8'-10"	2ND FLOOR	D	0'-2"	HW-6	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
207.2	OFFICE	6'-0"	8'-10 3/4"	2ND FLOOR	D	0'-0 1/2"	HW-2	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
207.3	OFFICE	6'-0"	8'-10 3/4"	2ND FLOOR	D	0'-0 1/2"	HW-2	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
207.4	OFFICE	6'-0"	8'-10 3/4"	2ND FLOOR	D	0'-0 1/2"	HW-2	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
207.5	OFFICE	30'-0"	9'-0"	2ND FLOOR	G	0'-0 1/2"								
207.6	OFFICE	3'-6"	8'-10"	2ND FLOOR	A	0'-1 3/4"		S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
208.1	WOMENS RR	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"	HW-7	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
208.2	VESTIBULE	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"								
209.1	MENS RR	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"	HW-7	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
210.1	JANITOR	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"								
213.1	OFFICE	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"		S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
214.1	OFFICE	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"		S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
215.1	OFFICE	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"		S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
216.1	OFFICE	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"		S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
217.1	STORAGE	6'-0"	8'-10"	2ND FLOOR	B	0'-1 3/4"	HW-4	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
218.1	STORAGE	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"								
219.1	STORAGE	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"								
220.1	OFFICE	3'-0"	8'-10"	2ND FLOOR	A	0'-1 3/4"	HW-5	METAL	PAINT	-	METAL	PAINT	NA	
220.2	OFFICE	3'-9 1/2"	9'-3 1/2"	MEZZANINE 2	C	0'-0 1/2"	HW-1	STOREFRONT	TEMP. GLAZ.	TEMP.	ANOD. ALUM.	TBD	NA	
220.4	OFFICE	30'-0"	9'-0"	2ND FLOOR	G	0'-0 1/2"								
230.1	BALCONY	3'-9 1/2"	8'-1 1/2"	1ST FLOOR	C	0'-0 1/2"								
230.2	BALCONY	5'-9 1/2"	8'-1 1/2"	1ST FLOOR	D	0'-0 1/2"								
231.1	RESTROOM	3'-0"	8'-0"	MEZZANINE 2	A	0'-1 3/4"	HW-8	S.C. WOOD	PAINT	-	ANOD. ALUM.	TBD	NA	
233.1	MECHANICAL	3'-0"	8'-10"	MEZZANINE 2	A	0'-1 3/4"								

Door Types



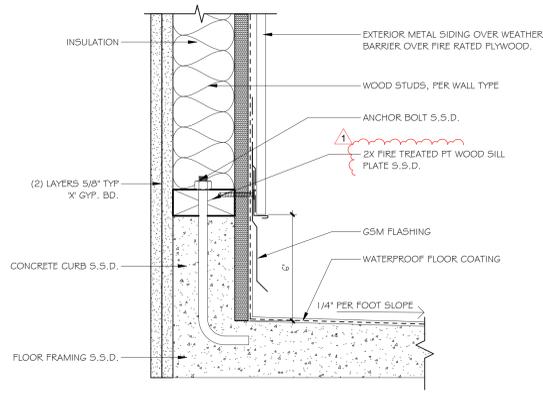
SCALE: 1/4" = 1'-0"

Door Specifications

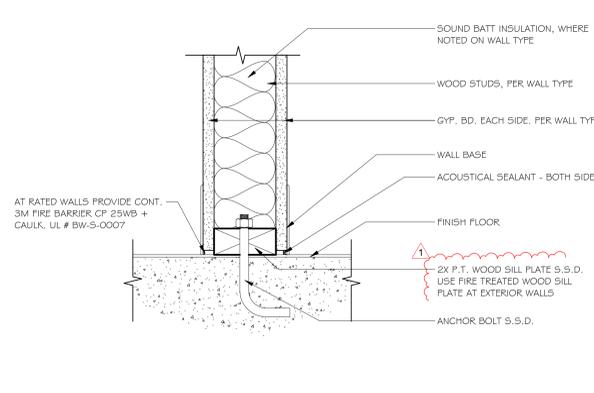
08100 METAL DOORS AND FRAMES	08700 HARDWARE
<p>A. Interior Aluminum Frames:</p> <ol style="list-style-type: none"> Frames: ASTM B221, alloy 6063-T5. Freestanding design, 1 1/2 inch face profile. Designed for securing to wall assemblies with fasteners that will be concealed by frame. Fire-Rated Doors: Provide fire-rated doors investigated and tested as steel doors, complete with type of hardware to be used. Identify each fire door with recognized testing laboratory labels, indicating applicable fire rating of steel doors. Construct doors to comply with NFPA Standard No. 80. Labels as indicated on the door schedule. Finish: Clear anodized. Aluminum frame manufacturers: <ol style="list-style-type: none"> Altura Architectural Products, Inc. Aluma, Dual Lock Partition System Ragland Manufacturing Company Western Integrated Materials. 	<p>08700 HARDWARE</p> <ol style="list-style-type: none"> General <ol style="list-style-type: none"> Templates: Supply to Door and Frame Manufacturer(s) to enable proper and accuratesang and locations of cutouts for hardware. ANSI/NFPA 80 - Fire Doors and Windows. <ol style="list-style-type: none"> Provide hardware for fire-rated openings in compliance with A.I.A. (NFBU) Pamphlet No. 80 and NFPA Standards No. 80 and No. 101. This requirement shall take precedence over other requirements for such hardware. Provide hardware which has been tested and listed by U.L. for the types and sizes of doors required, and which complies with the requirements of the doors and door frame labels. Panic Hardware. <ol style="list-style-type: none"> ANSI A117.1 - "Making Buildings and Facilities Accessible to and Usable by Physically Handicapped People." ADA Accessibility Guidelines (ADAAG). California Disabled Accessibility Guidebook (CalDAG). Butt Hinges: <ol style="list-style-type: none"> Determine correct clearance from the drawings. Equip doors mounted on wood or mineral core doors with conventional fasteners. Six nuts and bolts shall not be allowed. Doors with closers shall have ball bearing butts. Flat button, top and bottom tips required. Butt Hinge Length: As recommended by manufacturer. Provide electric hinges for doors containing electrified hardware. Locksets: <ol style="list-style-type: none"> Design shall permit removal of cylinder without removing lock from door. Provide locks and latchsets with 2 - 3/4 inch backset unless otherwise noted. Provide strikes with extended lip where required to protect trim from being marred by latch bolt. Provide wrought boxes with strikes. Exit Devices: <ol style="list-style-type: none"> U.L. approved for Casualty. Five doors to be equipped with UL rated exit devices meeting the fire label requirement. Devices to match in design. Closers: <ol style="list-style-type: none"> Surface mounted without covers. Finish to match separate hardware. Boxes to be close grained malleable iron, with 3 separate control valves (including backcheck) ANSI Grade 1 or aluminum, ANSI Grade 1. Closer to be equipped with size adjustment (1 through 6) in the field by the installer. Equip doors with wood or mineral core doors with conventional fasteners. Six nuts and bolts shall not be allowed. Closers to be installed on interior of door. Provide ADA arms for parallel applications. Provide types as listed in sets. Overhead Holders or Stops: As listed in hardware sets. <ol style="list-style-type: none"> Door stops: Wall type WC9KT will be used when possible. Locate wall bumpers to prevent lockset lever or closer from touching wall. Flush bolts: <ol style="list-style-type: none"> As listed in hardware sets. Manual design at non-fire-rated doors. Self-latching Automatic design at fire-rated doors. Equip with extension bolts of lengths to locate operating mechanism at 1 1/2 inches above floor for bottom unit and not over 72 inches above floor for top unit. Equip bottom bolts with dust proof strike; with plate where floor mounted; plate not required at thresholds. Coordinators: Mechanical type (gravity type not permitted), mounted at head of paired active doors; provide with full width fillers. <ol style="list-style-type: none"> Slipcovers: <ol style="list-style-type: none"> Type: Preformed neoprene or rubber. As listed in hardware sets. Electromagnetic hold open devices: Fail-safe operation. Card Readers: Operation as indicated on door schedule. Meeting stile seals: Extruded aluminum with neoprene seals. Astragals: Steel, prime coated. Cold Smoke Seals: <ol style="list-style-type: none"> UL rated, surface applied, self-adhesive, polypropylene or silicone rubber strips; black color. As listed in hardware sets. Hot Smoke Seals (luminescent): As listed in hardware sets.
<p>08200 WOOD AND PLASTIC DOORS</p> <p>A. Flush Doors:</p> <ol style="list-style-type: none"> Solid Core: Shall conform to ANSI A208.1 I LD2, 32 lbr. per cubic foot density. Regulatory Requirements: Fire doors shall be tested and labeled by a nationally recognized testing and certification agency, in accordance with applicable building codes. The listed doors shall meet or exceed ASTM E152, UL-10b), or NFPA 252. Provide fire labels from Warnock-Hershey International (WHI) or Underwriters Laboratories (UL). Certification: Provide each fire-rated and sound-rated door with a label permanently attached at eye level, to the hinge stile, indicating the testing agency's approval for the rating required. Door thickness: 1 3/4 inch each. Plastic laminate faced doors shall be a minimum 8-ply construction for particle core doors and minimum 5-ply construction for mineral core doors. Laminate shall match building standard. Stile edges and outer wood trim shall be mill option hardwood stained or painted to match or mill option hardwood faced with matching plastic laminate. Same species hardwood may be specified in a matching or contrasting transparent. <p>B. Labeled Flush Doors:</p> <ol style="list-style-type: none"> Mineral core flush veneered doors, 5-ply, shall be made up of face veneers, crossbanding, and a core unit securely bonded together utilizing Typ 1 (fully waterproof) adhesive and the hot press assembly technique. Provide matching transom panels where scheduled. Core Unit: Asbestos free, noncombustible mineral composite with a minimum of 28 pounds per cubic foot (450kg/m) density when tested in accordance with ASTM C303, with 10 percent maximum absorption by weight with core in equilibrium at 90 percent relative humidity and 70 degrees Fahrenheit. Manufacture labeled doors to the required size so as to provide proper clearances without field trimming. Machining of labeled doors must be completed before label is applied to assure the full thickness of the edge bands. Machine fire doors to meet NFPA 80 requirements. Provide channels for concealed exit devices specified in Section 08710 and in conformance with UL requirements. <p>C. Manufacturers:</p> <ol style="list-style-type: none"> Alpoma Marshfield Door Systems, Inc. Eggers Industries Build Door Company <p>D. Finishes:</p> <ol style="list-style-type: none"> Door Finish: See door schedule remarks. 	

Door Hardware Groups

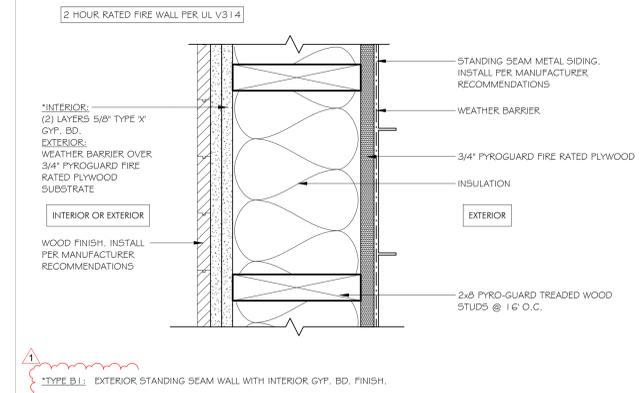
QUANTITY	TYPE	SPECIFICATION	FINISH	MANUFACTURER	QUANTITY	TYPE	SPECIFICATION	FINISH	MANUFACTURER
HW-1 HARDWARE GROUP #1 - SINGLE, STOREFRONT, PANIC					HW-6 HARDWARE GROUP #6 - DOUBLE, PANIC DEVICE				
1	DOOR FLOOR STOP	1211	US26D	TRIMCO	2	CLOSERS	P404 1XP	AL	LCN
1	OVER HEAD CONCEALED CLOSERS (IN STOREFRONT FRAME)	20-330	AL	JACKSON CORP.	1	COORDINATOR	1211	AL	LCN
1	PANIC DEVICE	35A47A-EO	US26D	VON DUPRIN	2	DOME FLOOR STOPS	1211	US26D	TRIMCO
1	PANIC DEVICE (ACTIVE LEAF)	35A47A-NL, LESS BOTTOM ROD	US26D	VON DUPRIN	8	HINGES	TA-2714, 4.5x4.5	US26D	MCKINNEY MFG. CO.
1 Set	PIVOT HINGES (HEAVY DUTY), EACH LEAF		US26D	PEMCO	1 Set	MOHAIR MUTE (WEATHER STRIP AT EXTERIOR)			PEMCO
1	THRESHOLD		US26D	PEMCO	1	MTG. STILE ASTRAGAL	2931 OCP	AL	PEMCO
1 Set	WEATHER STRIP ALL AROUND (AT EXTERIOR DOORS)			PEMCO	1	PANIC DEVICE	35A47A-EO	US26D	VON DUPRIN
					1	PANIC DEVICE (ACTIVE LEAF)	35A47A-NL	US26D	VON DUPRIN
HW-2 HARDWARE GROUP #2 - DOUBLE, STOREFRONT, PANIC					HW-7 HARDWARE GROUP #7 - RESTROOM, PUSH 4 PULL PLATE				
1	COORDINATOR		US26D		1 ea.	ACCESSIBLE ADA SIGN AT DOOR 4 WALL	ALUM BACKING W/ ACRYLIC FRONT	1" CLEAR	ACRYLIC
2	DOME FLOOR STOPS	1211	US26D	TRIMCO	1	CLOSER	P404 1XP	AL	LCN
1	MTG. STILE ASTRAGAL	2931 OCP	AL	PEMCO	1	DOME FLOOR STOP	1211	US26D	TRIMCO
2	OVER HEAD CONCEALED CLOSERS (IN STOREFRONT FRAME)	20-330	US26D	JACKSON CORP.	4	HINGES	TA-2714, 4.5x4.5	US26D	MCKINNEY MFG. CO.
1	PANIC DEVICE	9847-EO	US26D	VON DUPRIN	1 Set	MOHAIR MUTE			PEMCO
1	PANIC DEVICE (ACTIVE LEAF)	E9847L-NL	US26D	VON DUPRIN	1 ea.	FULL PLATE 4 HANDLE	1017-3 (4"x1'6")	US26D	TRIMCO
4	PIVOT HINGES (HEAVY DUTY)		US26D		1 ea.	PUSH PLATE	1001-3 (4"x1'6")	US26D	TRIMCO
1	THRESHOLD								
1 Set	WEATHER STRIP ALL AROUND (AT EXTERIOR DOORS)			PEMCO	HW-8 HARDWARE GROUP #8 - SINGLE, PRIVACY LOCK				



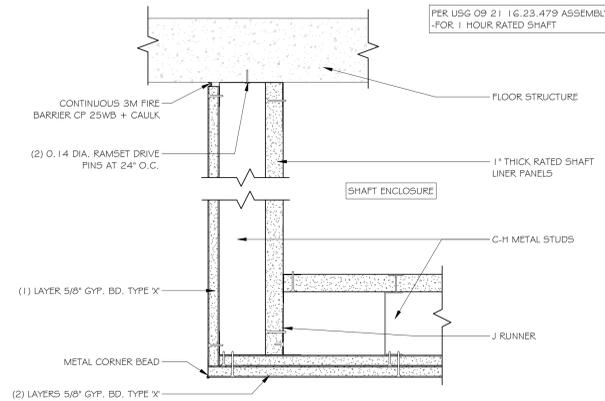
9 WALL SILL CURB
3" = 1'-0"



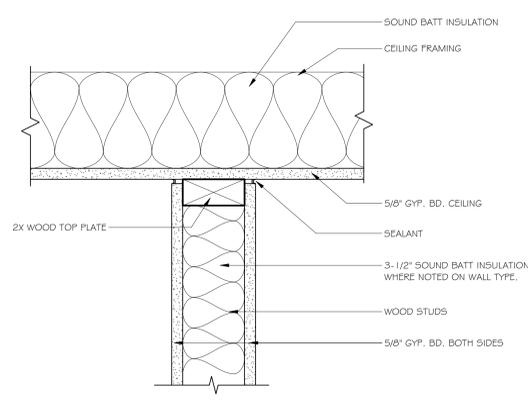
5 TYPICAL WALL SILL
3" = 1'-0"



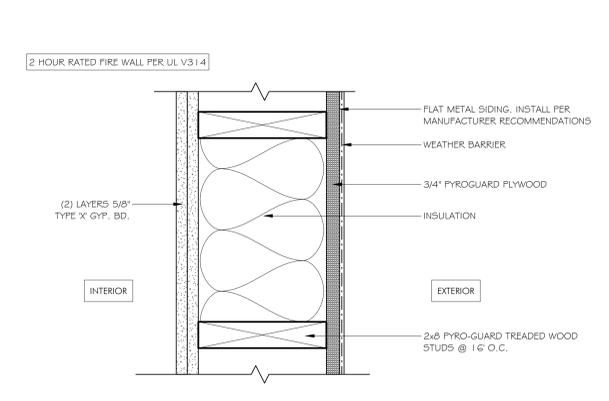
1 TYPE B - METAL SIDING WALL PLAN SECTION
3" = 1'-0"



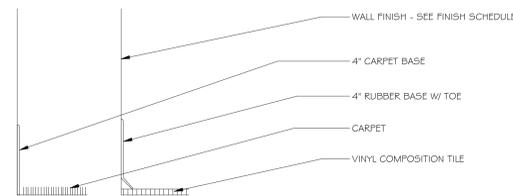
10 SHAFT CORNER DETAIL
3" = 1'-0"



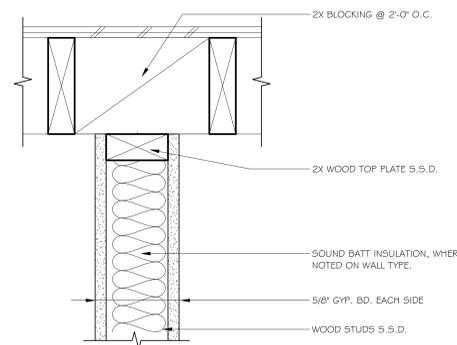
6 CEILING HEIGHT WALL AT CEILING
3" = 1'-0"



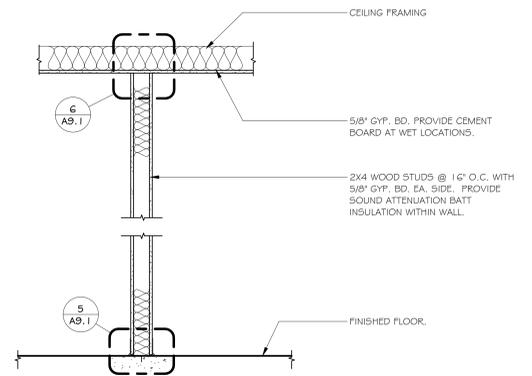
2 TYPE C - METAL WALL PLAN SECTION
3" = 1'-0"



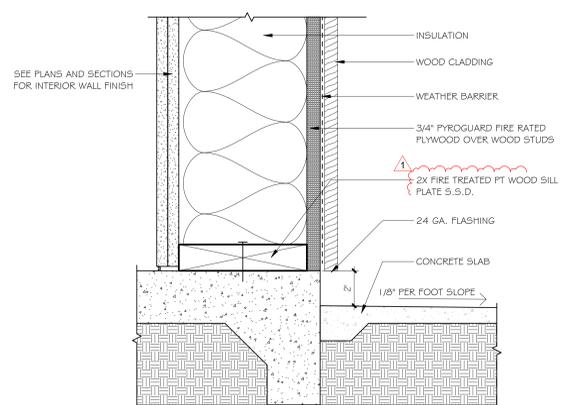
11 TYPICAL WALL BASE
3" = 1'-0"



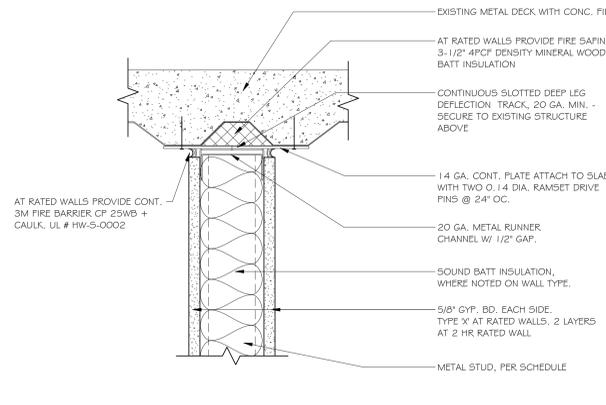
7 FULL HEIGHT WALL HEAD AT ROOF
3" = 1'-0"



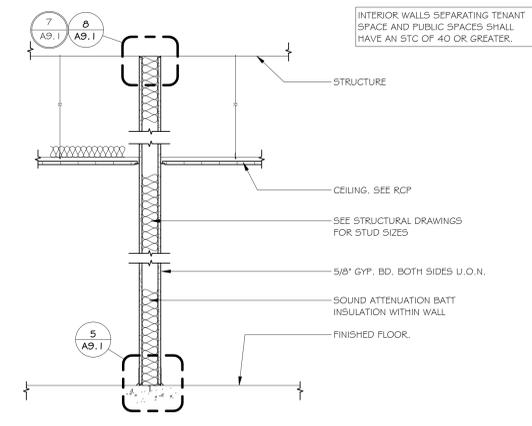
3 TYPE D - CEILING HEIGHT WALL SECTION
3/4" = 1'-0"



12 WOOD WALL AT SLAB
3" = 1'-0"



8 FULL HEIGHT WALL TO METAL DECK
3" = 1'-0"



4 TYPE F - FULL HEIGHT WALL
3/4" = 1'-0"

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TECHCON CONSTRUCTION, INC.

TECHCON



Kelly S. Simcox, architect

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REVISIONS

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	4/24/2020	BUILDING SUBMITTAL
1	6/5/2020	RESUBMITTAL

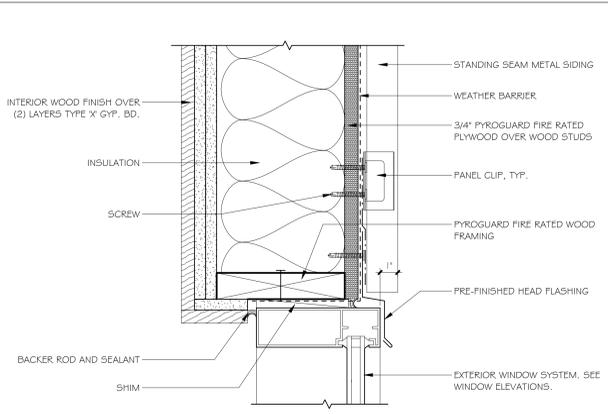
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SCALE As indicated
PROJECT ID 2019.95
DRAWN BY TB, CW

DETAILS - WALLS

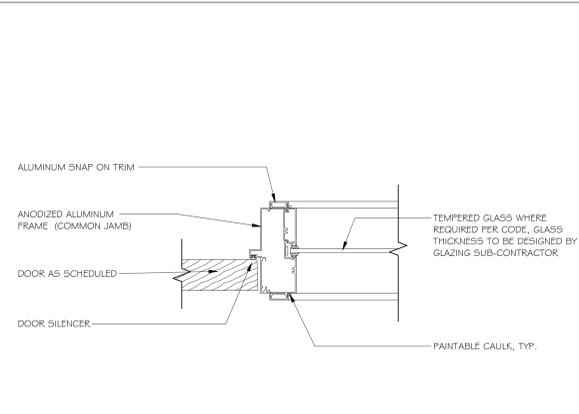
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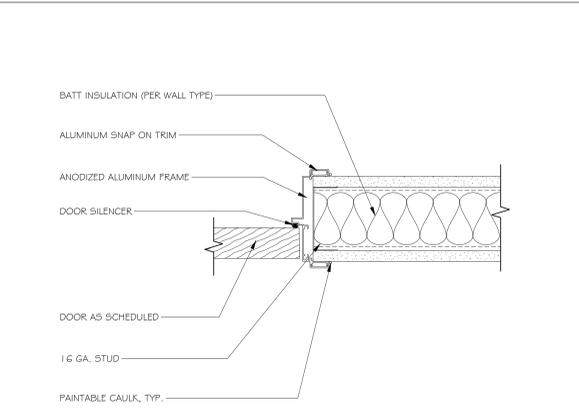
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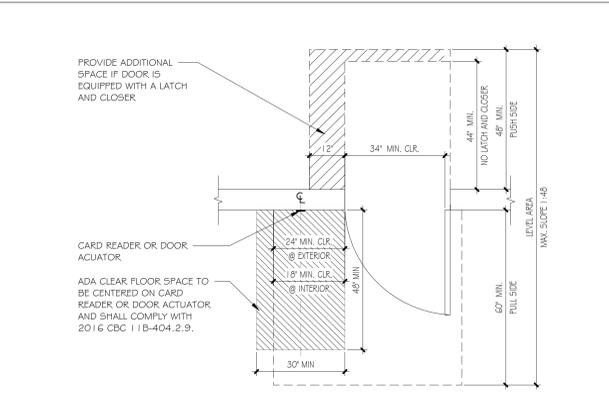
13 WINDOW HEADER AT METAL
3" = 1'-0"



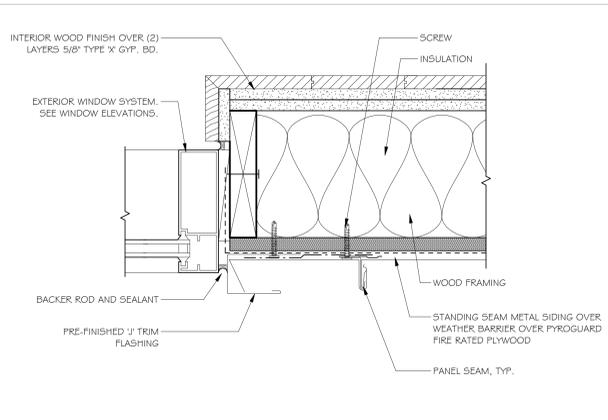
9 TYP. DOOR & SIDELITE JAMB
3" = 1'-0"



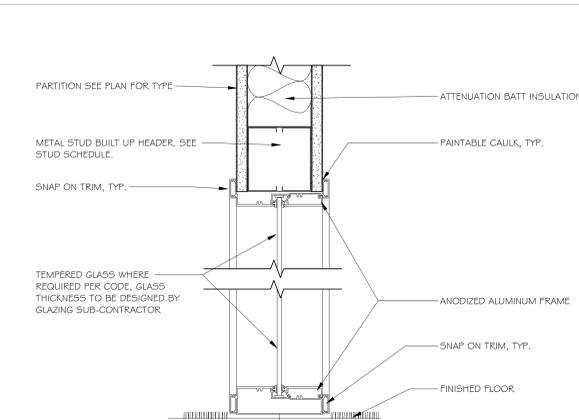
5 TYPICAL ALUM DOOR JAMB
3" = 1'-0"



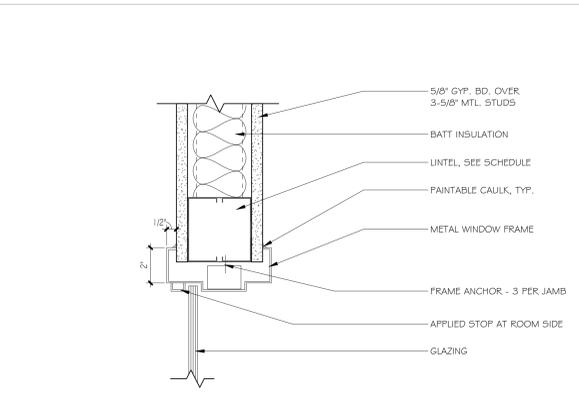
1 DOOR - ACCESSIBLE CLEARANCES
1/2" = 1'-0"



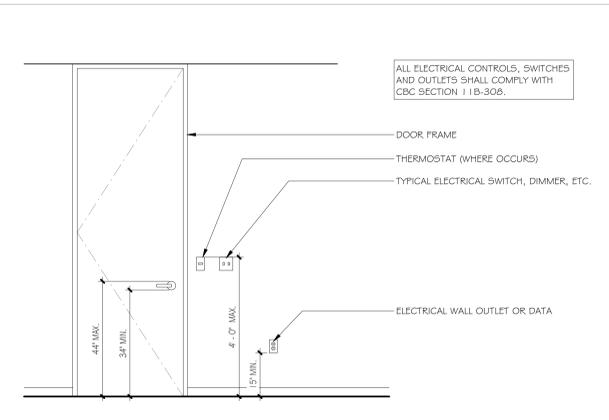
14 WINDOW JAMB
3" = 1'-0"



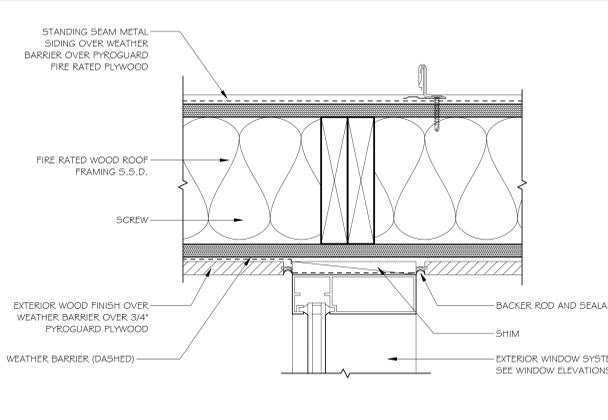
10 SIDELITE HEAD & SILL - INTERIOR
3" = 1'-0"



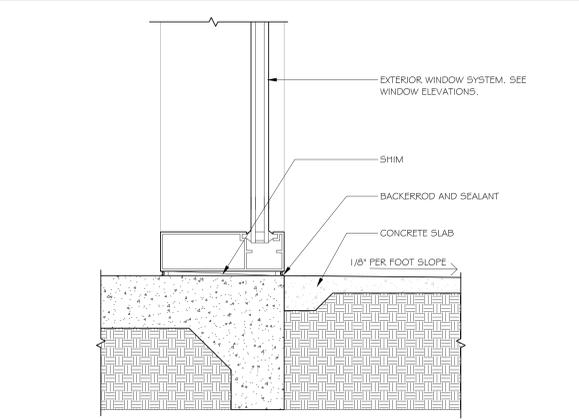
6 TYPICAL WINDOW HEADER MTL FRAME
3" = 1'-0"



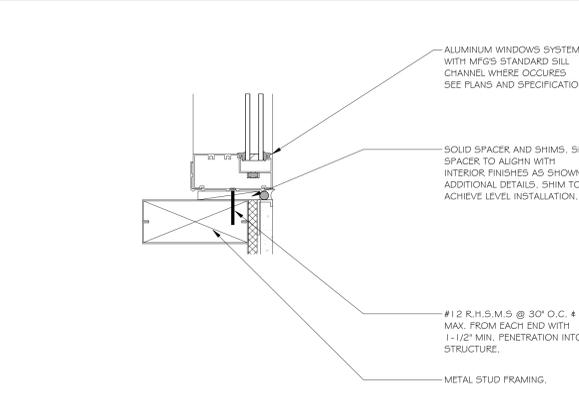
2 ACCESSIBLE SWITCHES & OUTLETS
1/2" = 1'-0"



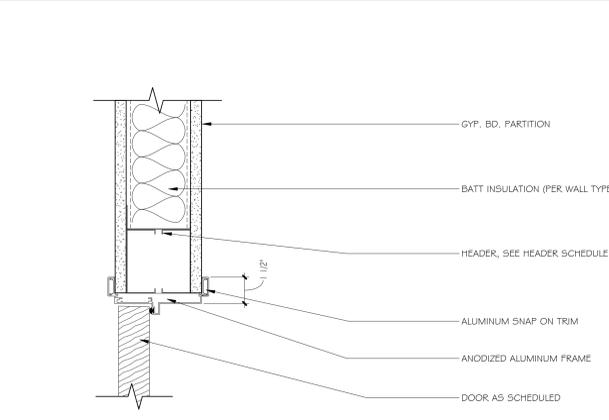
15 WINDOW HEADER AT WOOD
3" = 1'-0"



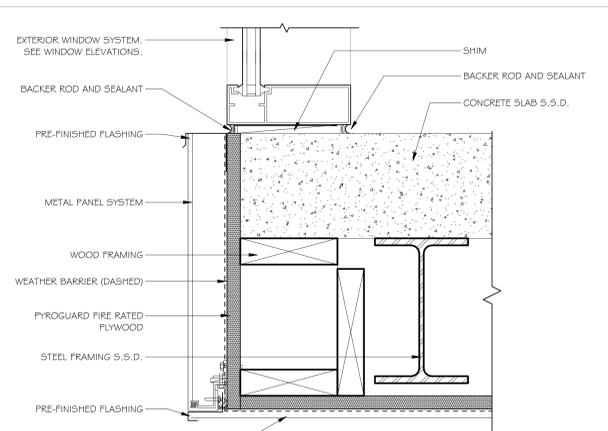
11 WINDOW SILL AT SLAB
3" = 1'-0"



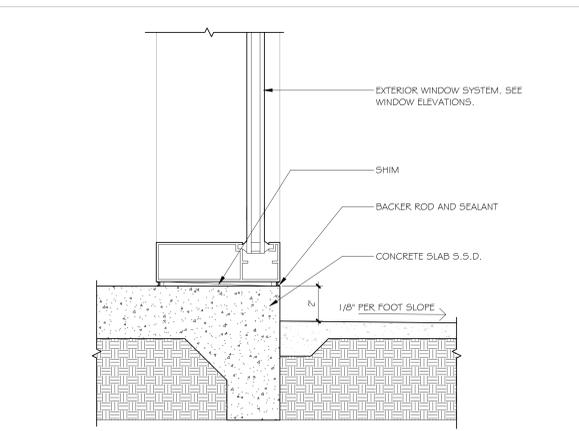
7 TYP. ALUMINUM WINDOW ANCHORAGE
3" = 1'-0"



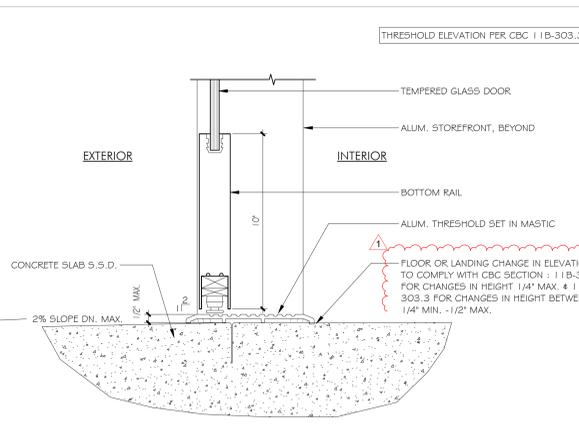
3 TYPICAL ALUM DOOR HEADER
3" = 1'-0"



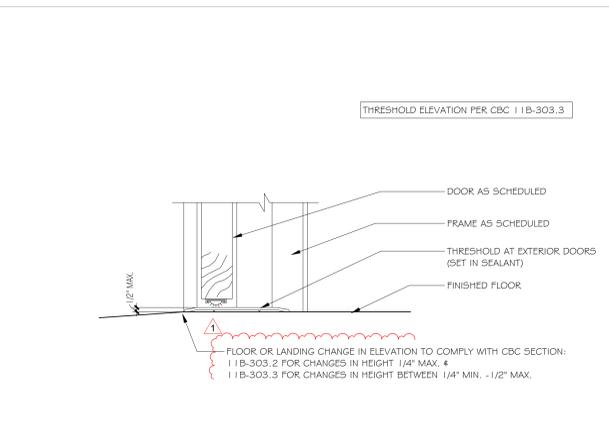
16 WINDOW AT OVERHANG
3" = 1'-0"



12 WINDOW SILL AT EXTERIOR
3" = 1'-0"



8 EXTERIOR DOOR SILL
3" = 1'-0"



4 DOOR SILL DETAIL
3" = 1'-0"

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1	6/5/2020	RESUBMITTAL

DATE: 8/1/2019
SCALE: As indicated
PROJECT ID: 2019.95
DRAWN BY: TB, CW

DETAILS - OPENINGS
SHEET TITLE

SHEET NO. **A9.2**

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